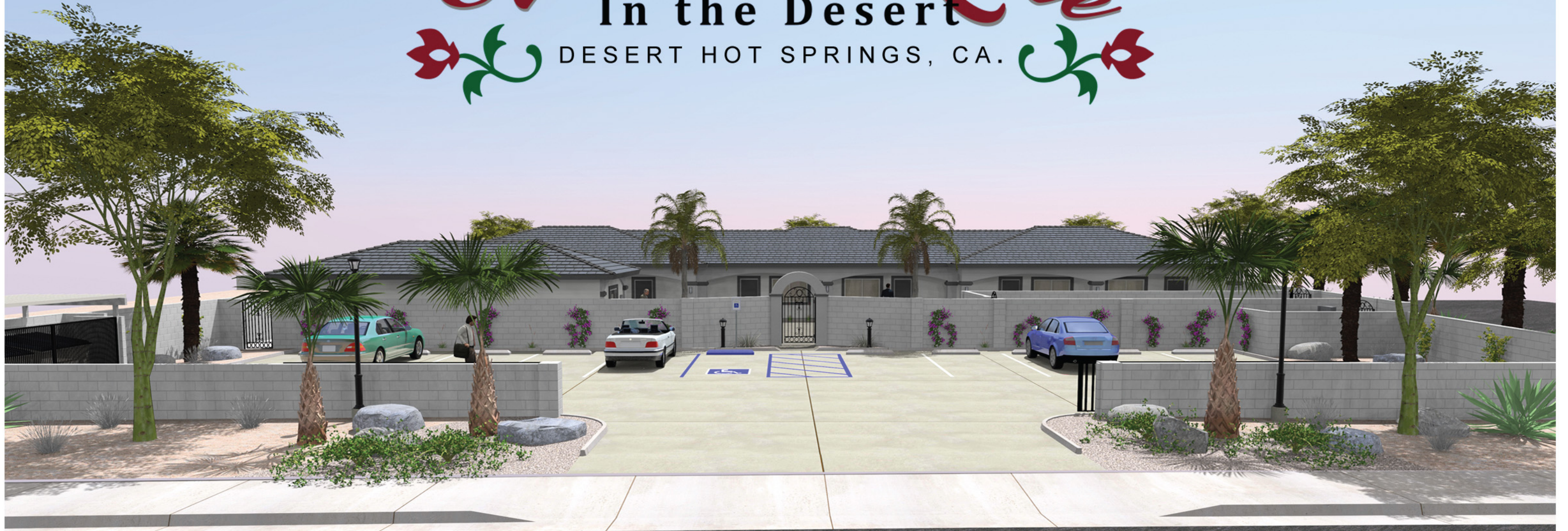


Villa D'Luze

In the Desert
DESERT HOT SPRINGS, CA.



DCS DESIGNERS

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Disclaimer: All Renderings & Illustrations within this Presentation are "Artist Concepts"



FRONT BIRDS EYE VIEW



COURTYARD BIRDS EYE VIEW

REVISIONS	BY

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FOR THE PROJECT OF:
 JC LANDMARK
 VILLAS D'LUXE IN THE DESERT
 5TH STREET & MESQUITE AVE.
 DESERT HOT SPRINGS, CA.

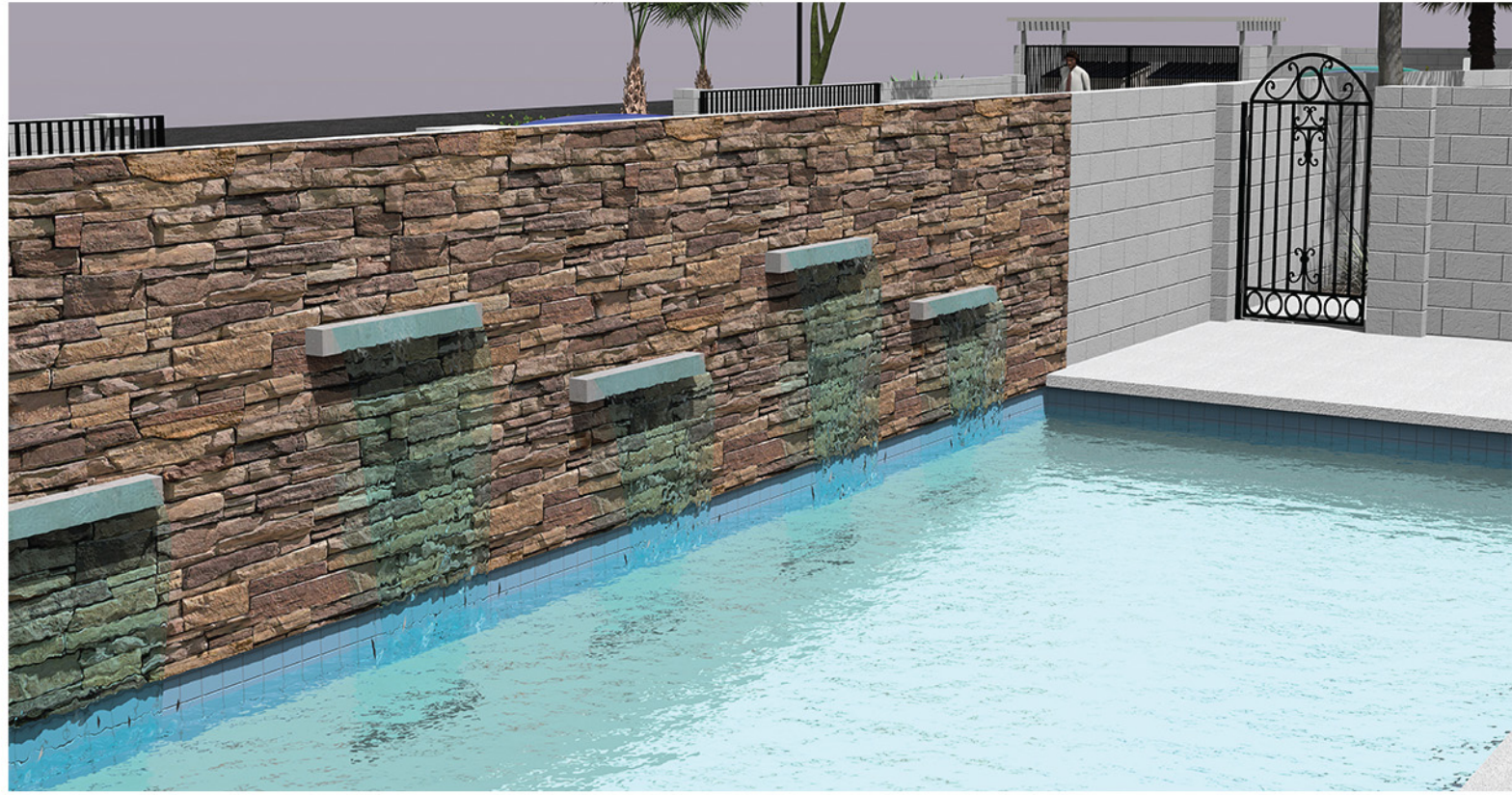
SHEET TITLE

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 92240 PHONE: 760.369.2550

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 SCALE: AS SHOWN
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POOL VIEW



COURTYARD VIEW

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OF _____ **SHEETS**



JACUZZI/LAUNDRY



MAIN UNITS

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LEFT/EAST ELEVATION



COURTYARD BIRDS-EYE VIEW

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 NO. C52978
 EX. 11-2-21

FOR THE PROJECT OF:

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SHEET TITLE

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COURTYARD SOUTH BIRDS-EYE VIEW



SITE BIRDS-EYE VIEW

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FOR THE PROJECT OF:
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 5TH STREET & MESQUITE AVE.
 DESERT HOT SPRINGS, CA.

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SITE VIEW

DRAWN BY: DRS
 NOV 10, 2019
 SCALE: AS SHOWN
 JC LANDMARK #1262
 SHEET

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SHEET TITLE

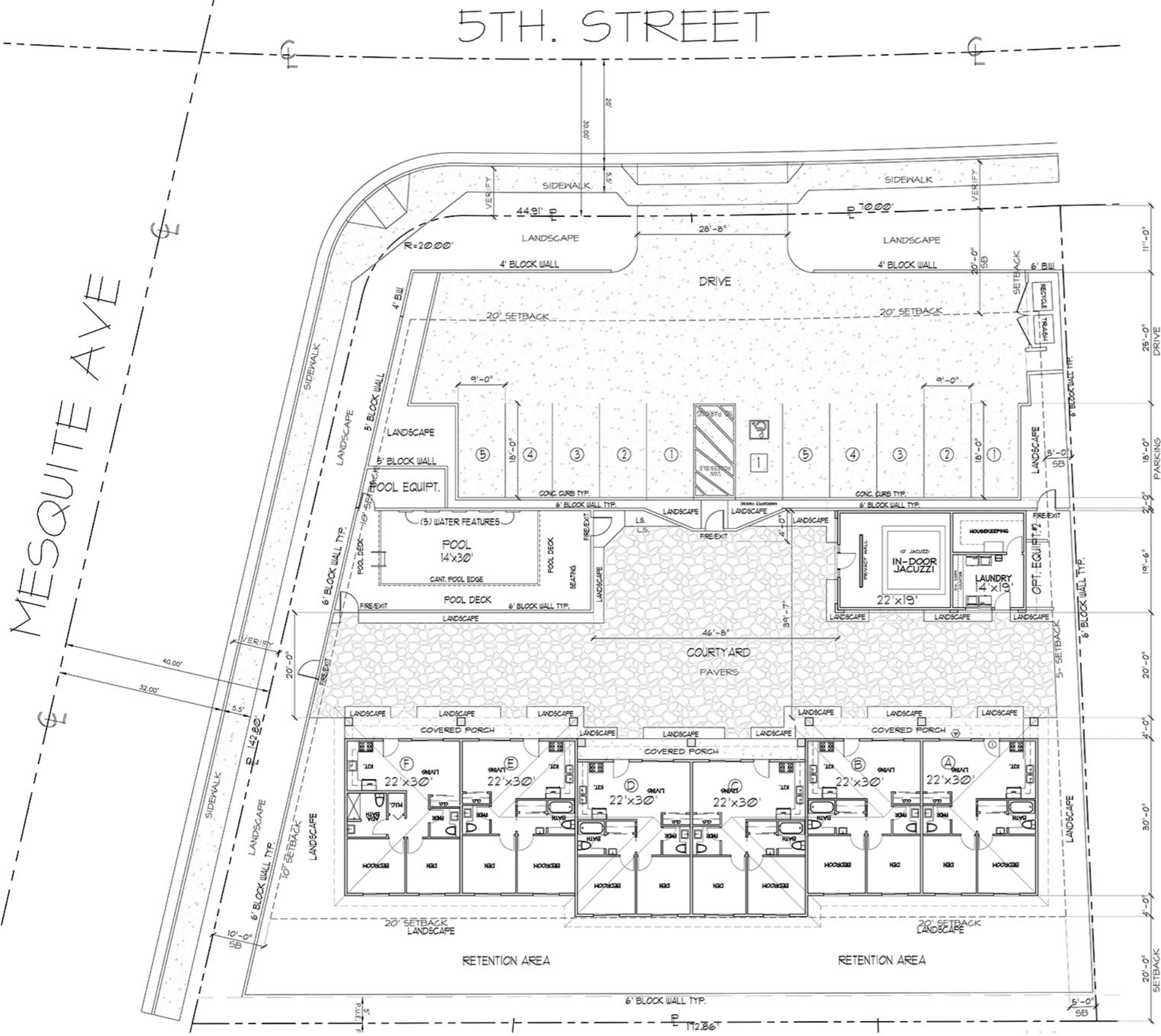
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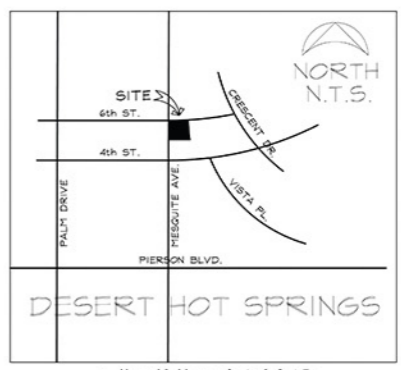
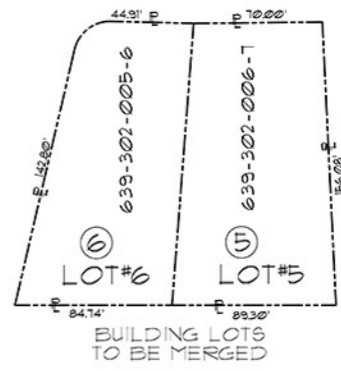
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PROJECT DATA	
PROJECT:	VILLAS D'LUXE IN THE DESERT
OWNER:	JAY COHEN - JC LANDMARK, LLC, MONROE NY, 10950
PROJECT ADDRESS:	5th STREET & MESQUITE AVE. (CORNER) DESERT HOT SPRINGS, CA 92240
LEGAL DESCRIPTION:	LOTS 5 AND 6 IN BLOCK F OF DESERT HOT SPRINGS UNIT NUMBER 6 IN THE CITY OF DESERT HOT SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 24 PAGES 20 AND 21 OF MAPS, RECORDS OF RIVERSIDE COUNTY CALIFORNIA.
ASSESSORS PARCEL NO.:	639-302-005-6 & 639-302-006-7 2-LOTS
LOT COVERAGE TABULATIONS	
LOT SIZE (APPROX.)	23,343 SQ. FT. 100.0 %
6 UNITS @ 440 S.F.	3,960 SQ. FT. 17.0 %
INDOOR JACUZZI/LAUNDRY/HSEKPG.	684 SQ. FT. 2.9 %
TOTAL STRUCTURES SUB:	4,644 SQ. FT. 19.9 %
PARKING & DRIVES	
4 UNITS @ 440 S.F.	1,777 SQ. FT. 7.6 %
WALKS & HARDSCAPE	3,332 SQ. FT. 14.2 %
SUB:	9,515 SQ. FT. 40.8 %
LANDSCAPE AND BALANCE OF PROPERTY	9,184 SQ. FT. 39.3 %
TOTAL:	23,343 SQ. FT. 100.0 %
SITE PARKING:	
REQUIRED:	6 UNITS @ 15'x21' @ 3 SPACES + 2 GUEST SPACES = 11 TOTAL (WI-VAN ACCESSIBLE/HANDICAP)
PROVIDED:	11 SPACES (WI-VAN ACCESSIBLE/HANDICAP)
R-VS-M OCCUPANCY TYPE "V" CONSTRUCTION APPLICABLE CODE. THIS PROJECT SHALL COMPLY WITH THE 2019 EDITION OF THE CALIF. BUILDING CODE (TITLE 24)	



SITE PLAN
1/8" = 1'-0" 6 UNITS

* REFER TO GRADING PLAN FOR ALL FINAL DIMENSIONS & CONDITIONS
* NOTE: ALL MEASUREMENTS SUPERSEDE SCALE. ALL DIMENSIONS, LOCATIONS & CONDITIONS MUST BE VERIFIED "IN-FIELD"

REVISIONS	BY

FOR THE PROJECT OF:
JC LANDMARK
VILLAS D'LUXE IN THE DESERT
5TH STREET & MESQUITE AVE.
DESERT HOT SPRINGS, CA.

ARCHITECT
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200-300 JULLUQUATER DRIVE
INDIO, CA 92203
TEL: 1607-393-4856, FAX: 200-1662

SHEET TITLE
CONCEPTUAL SITE PLAN

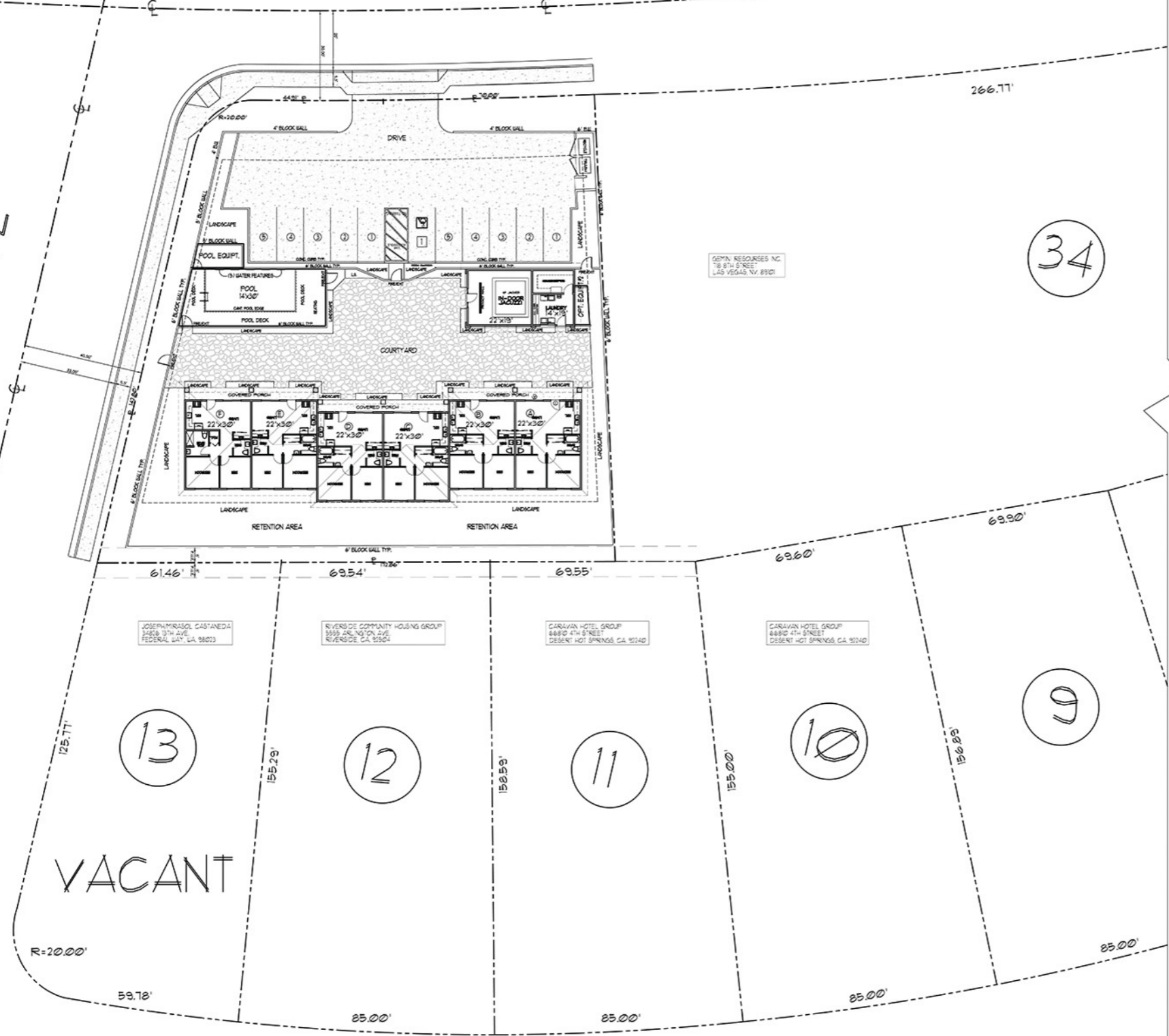
DESIGNERS
DCS DESIGNERS
P.O. BOX 926
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DATE: MAR. 05, 2020
SCALE: AS SHOWN
SHEET: JC LANDMARK #292
S1 OF 5 SHEETS

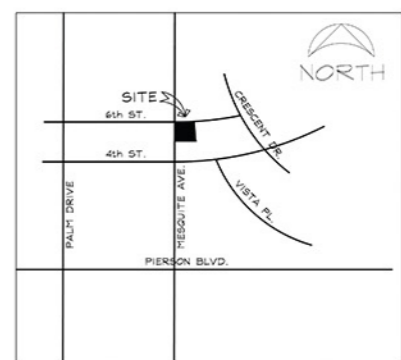
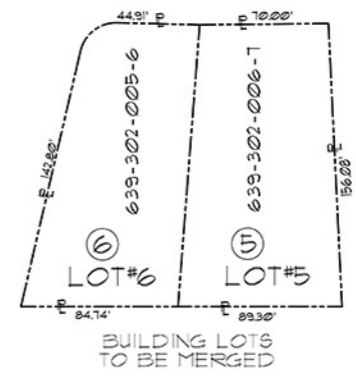
5TH. STREET

MESQUITE AVE

4TH. STREET



PROJECT DATA	
PROJECT:	VILLAS D'LUXE IN THE DESERT
OWNER:	JAY COHEN - JC LANDMARK, LLC. MONROE NY, 10950
PROJECT ADDRESS:	5th STREET & MESQUITE AVE. (CORNER) DESERT HOT SPRINGS, CA 92240
LEGAL DESCRIPTION:	LOTS 5 AND 6 IN BLOCK # OF DESERT HOT SPRINGS UNIT NUMBER 6 IN THE CITY OF DESERT HOT SPRINGS COUNTY OF RIVERSIDE STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 24 PAGES 20 AND 21 OF MAPS, RECORDS OF RIVERSIDE COUNTY CALIFORNIA.
ASSESSORS PARCEL NO:	639-302-005-6 & 639-302-006-1 2-LOTS
LOT COVERAGE TABULATIONS	
LOT SIZE (APPROX.)	23,343 SQ. FT. 100.0 %
6 UNITS @ 660 S.F.	3,960 SQ. FT. 17.0 %
INDOOR JACUZZI/LAUNDRY/HSEK'G.	684 SQ. FT. 2.9 %
TOTAL STRUCTURES SUB.	4,644 SQ. FT. 19.9 %
LANDSCAPE AND BALANCE OF PROPERTY	
PARKING & DRIVES	5,126 SQ. FT. 22.0 %
POOL & EQUIPT. AREA	1,077 SQ. FT. 4.6 %
WALKS & HARDSCAPE	3,312 SQ. FT. 14.2 %
SUB.	9,515 SQ. FT. 40.8 %
TOTAL	23,343 SQ. FT. 100.0 %
SITE PARKING:	
REQUIRED:	6 UNITS @ 15'x11'5" SPCS. + 2 GUEST SPACES = 11 TOTAL (W/1-VAN ACCESSIBLE/HANDICAP)
PROVIDED:	11 SPACES (W/1-VAN ACCESSIBLE/HANDICAP)
R-VS-M OCCUPANCY:	
TYPE:	1-1/2 CONSTRUCTION
APPLICABLE CODE:	THIS PROJECT SHALL COMPLY WITH THE 2019 EDITION OF THE CALIF. BUILDING CODE (TITLE 24)



SITE PLAN
1/8" = 1'-0" ADJOINING

REVISIONS	BY



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FOR THE PROJECT OF:
JC LANDMARK
VILLAS D'LUXE IN THE DESERT
5TH STREET & MESQUITE AVE.
DESERT HOT SPRINGS, CA.

SHEET TITLE
CONCEPTUAL
SITE PLAN
W/ADJOINING LOTS

DCS DESIGNERS
DCS DESIGNERS
P.O. BOX 926
DESERT HOT SPRINGS, CA.
92240 PHONE: 760.369.2550

DATE: MAR. 05, 2020
SCALE: AS SHOWN
SHEET: JC LANDMARK #22
S2
OF SHEETS

* NOTE: ALL MEASUREMENTS SUPERSEDE SCALE. ALL DIMENSIONS, LOCATIONS & CONDITIONS MUST BE VERIFIED "IN-FIELD"



SITE PLAN
1/16" = 1'-0"



* NOTE: ALL MEASUREMENTS SUPERSEDE SCALE. ALL DIMENSIONS, LOCATIONS & CONDITIONS MUST BE VERIFIED "IN-FIELD"

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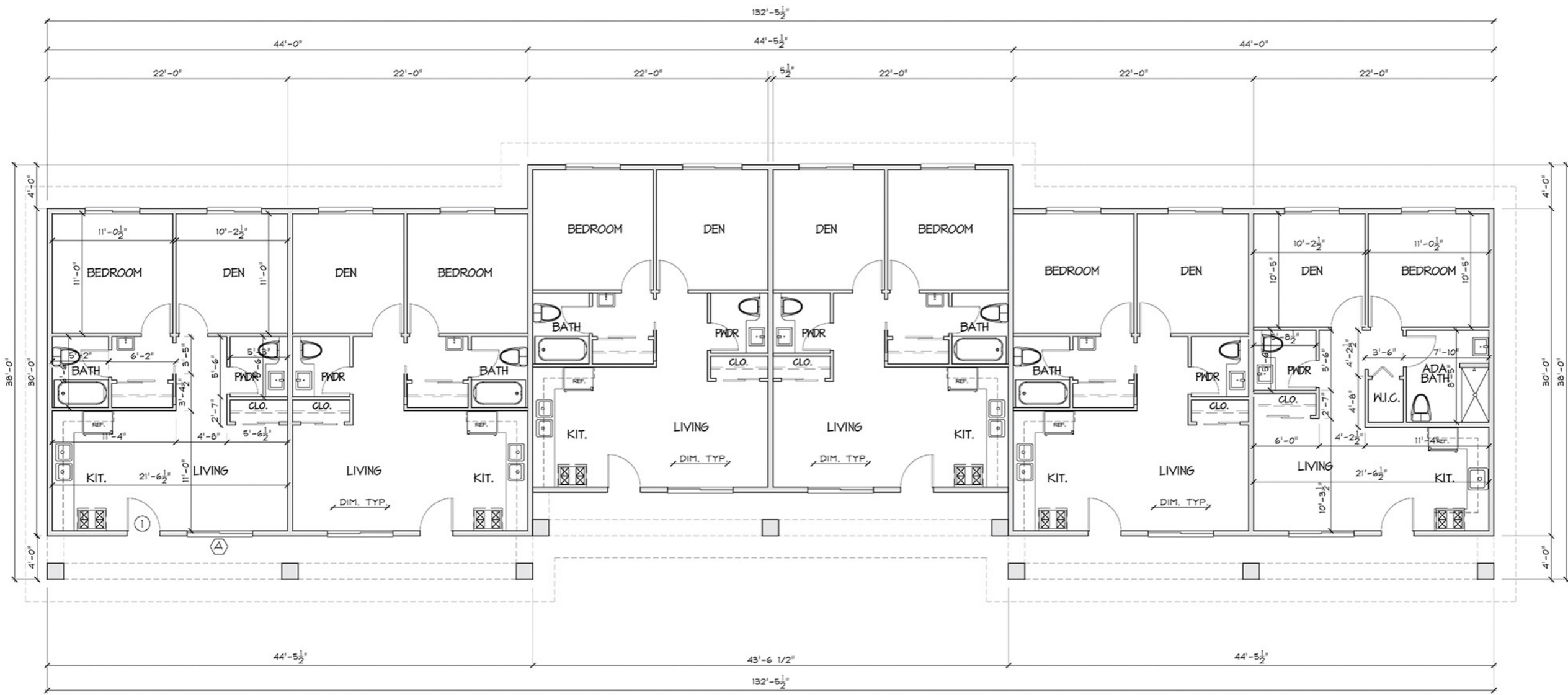
FOR THE PROJECT OF:
JC LANDMARK
VILLAS D'LUXE IN THE DESERT
5TH STREET & MESQUITE AVE.
DESERT HOT SPRINGS, CA.

SHEET TITLE
SITE PLAN
EXISTING

DESIGNERS
DCS DESIGNERS
P.O. BOX 926
DESERT HOT SPRINGS, CA.
92240 PHONE: 760.369.2550

DATE: MAR. 05, 2020
SCALE: AS SHOWN
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OF: 3 SHEETS

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FLOOR PLAN
1/4" = 1'-0" 6 UNITS



* NOTE: ALL MEASUREMENTS SUPERSEDE SCALE. ALL DIMENSIONS, LOCATIONS & CONDITIONS MUST BE VERIFIED "IN-FIELD"

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FOR THE PROJECT OF:
JC LANDMARK
VILLAS D'LUXE IN THE DESERT
 5TH STREET & MESQUITE AVE.
 DESERT HOT SPRINGS, CA.

SHEET TITLE
MAIN BUILDING
FLOOR PLAN

DESIGNERS
 DCS DESIGNERS
 P.O. BOX 926
 DESERT HOT SPRINGS, CA.
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DESIGNED BY
 DATE
 MAR. 05, 2020
 SCALE
 AS SHOWN
 JC LANDMARK #22
 SHEET
A1

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ROOF SYSTEM:

- ALL ROOF PITCHES AS SHOWN
- 15/32 O.S.B. ROOF SHEATHING
- EAGLE CONCRETE ROOF TILE ROOF - W/30# FELT
- 26 GA. GALV. FLASHING AT ALL CONNECTIONS

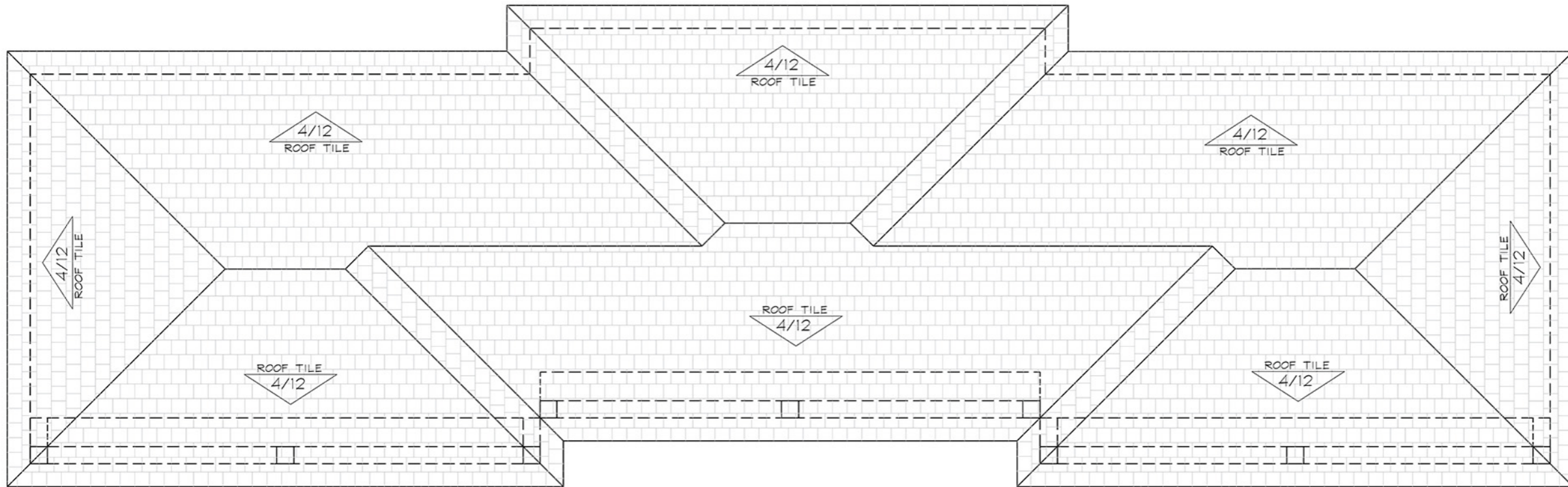
STONE VENEER CONNECTION

- 1) WALL TIES - SHALL BE CORROSION RESISTANT NO.22 GALV. SHEET GAUGE BY 3/4" OR #9 WIRE IN HORIZONTAL JOINTS @ 24" O.C. HORIZ.

LEGEND

- 26 GA. GALV. W/8 MESH 26 GA. GALV. WIRE CLOTH
- ⊗ ROOF VENT - 12"x12" FLAT ROOF VENT (144 S.I. FREE AREA/EA) INSTALLED ON 6" CURB
- ⊞ CHASIN ROOF VENT 100 SQ' NET FREE AREA PAINTED TO MATCH TILE
- ROOF SCUPPER
- ROOF DRAIN
- SOLAR TUBE

NOTE: ATTIC VENTS ARE REQUIRED TO BE PROTECTED BY 1/2" CORROSION RESISTANT METAL MESH (SEE 15053 UBC.)



FLOOR PLAN
1/4" = 1'-0" 6 UNITS



* NOTE: ALL MEASUREMENTS SUPERSEDE SCALE. ALL DIMENSIONS, LOCATIONS & CONDITIONS MUST BE VERIFIED "IN-FIELD"

REVISIONS	BY

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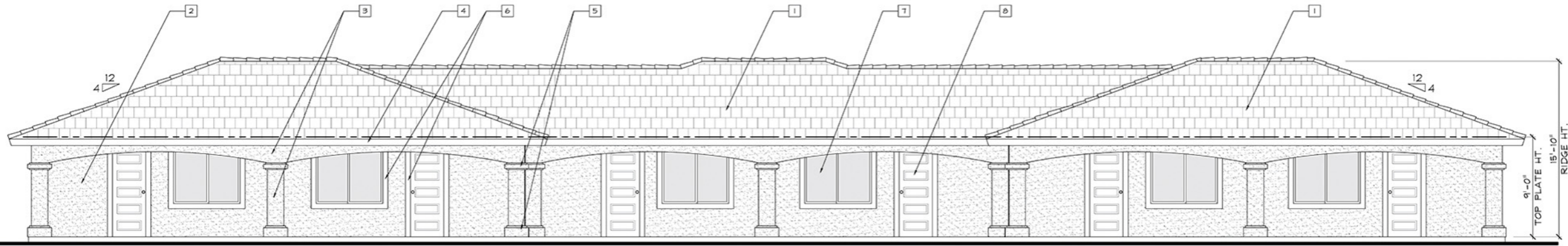
FOR THE PROJECT OF:
JC LANDMARK
VILLAS D'LUXE IN THE DESERT
 5TH STREET & MESQUITE AVE.
 DESERT HOT SPRINGS, CA.

SHEET TITLE
MAIN BUILDING
ROOF PLAN

DESIGNERS
 DCS DESIGNERS
 P.O. BOX 926
 DESERT HOT SPRINGS, CA.
 92240 PHONE: 760.369.2650

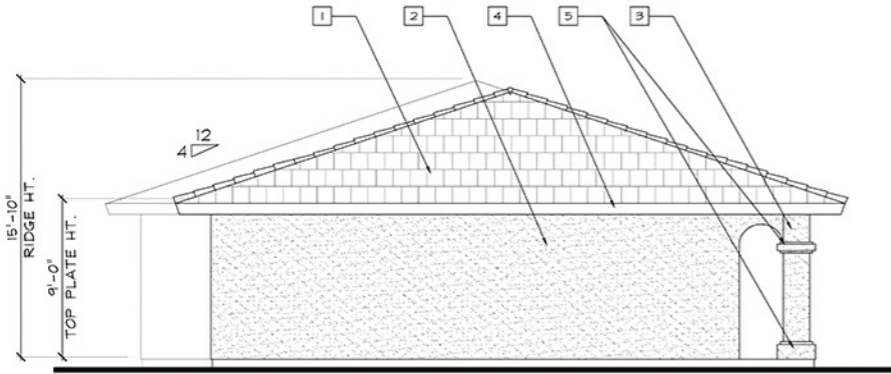
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 SHEET: A2
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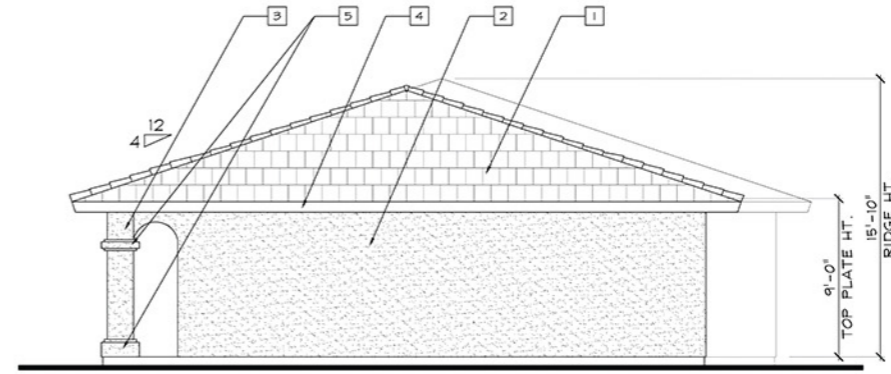
FRONT ELEVATION

1/4" = 1'-0" NORTH



LEFT SIDE ELEVATION

1/4" = 1'-0" EAST

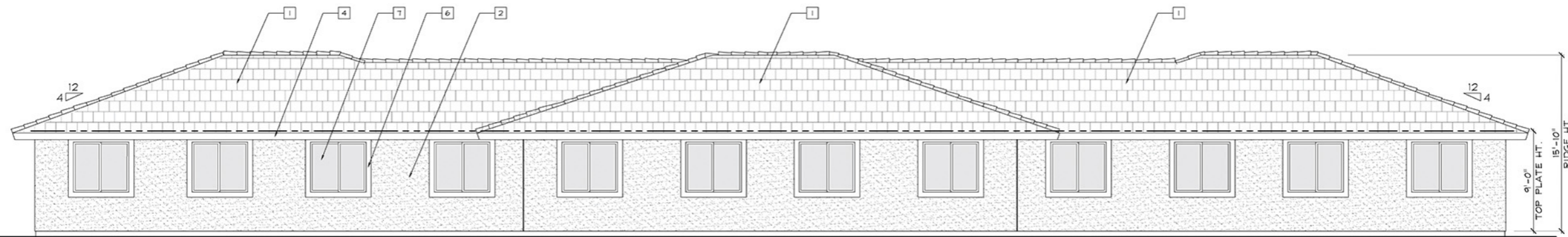


RIGHT SIDE ELEVATION

1/4" = 1'-0" WEST

FINISH SCHEDULE

- 1 ROOF TILE - EAGLE CONC. - SIERRA MADRE (M4502)
- 2 STUCCO #1 - MAIN BUILDING AREA
- 3 LQMBRA - DOVE GRAY X40
- 4 STUCCO #2 - ARCHES & COLUMNS
- 5 LQMBRA - SILVER GRAY X16
- 6 STUCCO #3 - FASCIA
- 7 LQMBRA - THUNDER SKY P2040
- 8 STUCCO #4 - COLUMN ACCENTS
- 9 LQMBRA - THUNDER SKY P2040
- 10 STUCCO #4 - WINDOW & DOOR TRIM
- 11 LQMBRA - THUNDER SKY P2040
- 12 WINDOWS - ALUMINUM FRAMED GLAZING WITH A WHITE ANODIZED FINISH
- 13 CUSTOM WOOD ENTRY DOORS - 5-PANEL
- 14 FRENCH DOOR 1-LIGHT
- 15 FRENCH DOOR 1-LIGHT, W2-SIDELIGHTS
- 16 BLOCK WALLS - ORGO PRECISION "GRAY"
- 17 POOL VENEER - CORONALDO EASTERN LEDGE
- 18 "CARMEL MOUNTAIN"
- 19 STONE PAVERS COURTYARD - STONE GRAY
- 20 "MOASIC TILE"
- 21 WROUGHT IRON - GATES, DRIVEWAY FENCE & TRASH



REAR ELEVATION

1/4" = 1'-0" SOUTH

ELEVATIONS

1/4" = 1'-0"

* NOTE: ALL MEASUREMENTS SUPERSEDE SCALE. ALL DIMENSIONS, LOCATIONS & CONDITIONS MUST BE VERIFIED "IN-FIELD"

REVISIONS	BY



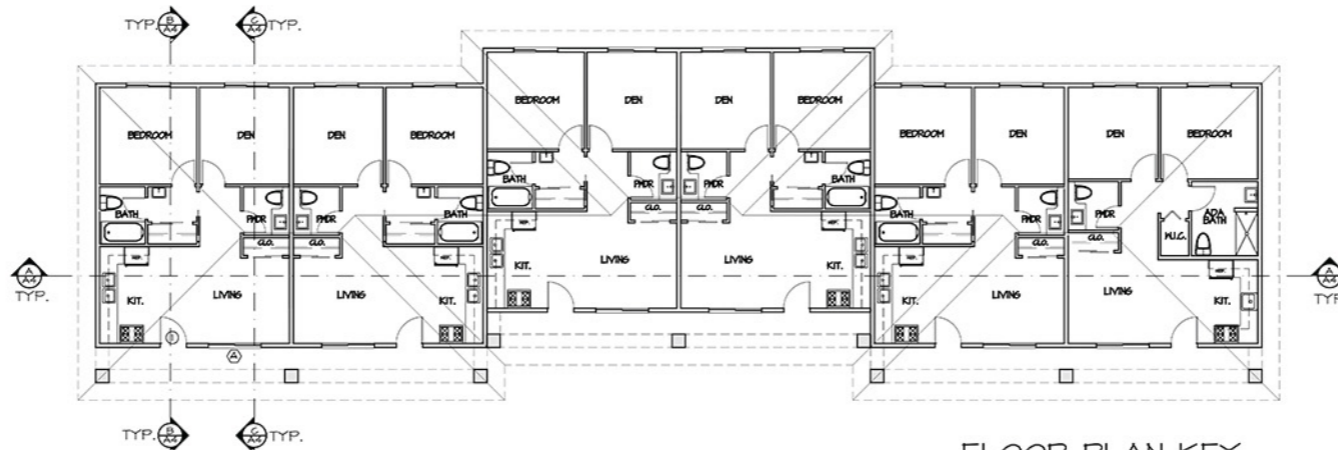
ARCHITECT
 WENDELL W. VEITH ARCHITECT
 80-300 JULLWATER DRIVE
 INDIO, CA 92203
 TEL. 1607-953-4956, FAX. 200-1662

FOR THE PROJECT OF:
JC LANDMARK
VILLAS D'LUXE IN THE DESERT
5TH STREET & MESQUITE AVE.
DESERT HOT SPRINGS, CA.

SHEET TITLE
MAIN BUILDING
BUILDING ELEVATIONS

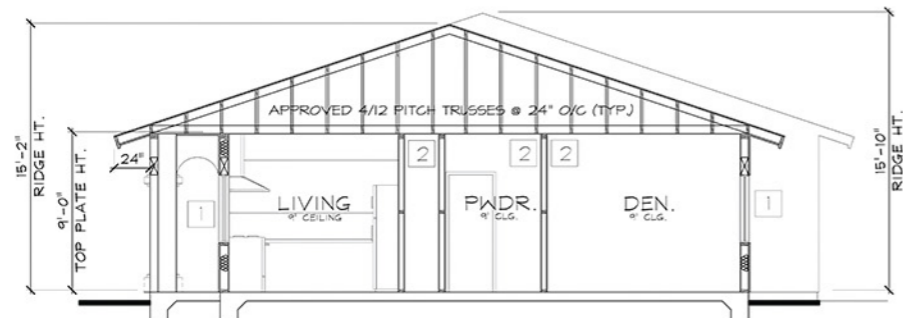
DESIGNERS
 DCS DESIGNERS
 P.O. BOX 926
 DESERT HOT SPRINGS, CA.
 92240 PHONE: 760.369.2550

DATE	MAR. 05, 2020
BY	AS SHOWN
SCALE	JC LANDMARK #252
SHEET	A3
OF SHEETS	3

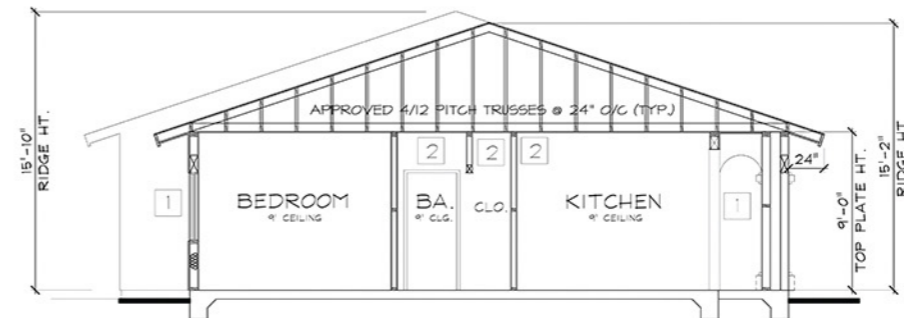


FLOOR PLAN KEY
1/8" = 1'-0" 6 UNITS

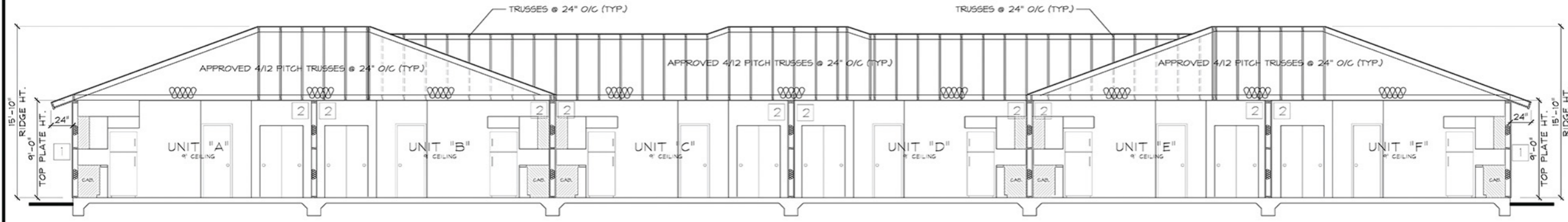
- 1 EXT. TYPICAL EXTERIOR STUD/WALL: 2x6 @ 16" O/C, W/4x12 HEADERS, DBL. 2x6 TOP PLATE, P.T. SILL PLATE W/5/8" x 10" ANCHOR BOLTS @ 6' O/C - 12" FROM CORNERS AND DOORWAYS, FIRESTOPS - HORIZ. BLOCKING @ 4' O/C (VERT.), 7/8" STUCCO (3 COAT) W/26 GA. GALV. FLASHING AND GA. GALV. KEEP SCREED, R-21 INSUL. ALL WALLS, ALL BEAMS-AS PER STRU.
 - 2 INT. TYPICAL INTERIOR STUD/WALL: 2x4 @ 16" O/C, W/4x12-4x12 HEADERS, DBL. 2x4x6 TOP PLATE, P.T. SILL PLATES W/MULTI CONCRETE NAILS & GUN (CEILING 190) @ 18" O/C, FIRESTOPS/HORIZ. BLOCKING @ 4' O/C (VERT.), 1/2" DRYWALL (5/8" TYPE "X" @ CEILINGS, PARTY WALLS AND DRAFT STOPS) R-38 INSUL. AT ALL CEILINGS. ALL BEAMS-AS PER STRU.
- REFER TO FOUNDATION PLAN FOR SHEAR PANEL LOCATIONS, POSTS & HARDWARE



SECTION "C/C"
1/4" = 1'-0" 6 UNITS



SECTION "B/B"
1/4" = 1'-0" 6 UNITS



SECTION "A/A"
1/4" = 1'-0" 6 UNITS

FLOOR PLAN
1/4" = 1'-0" 6 UNITS

* NOTE: ALL MEASUREMENTS SUPERSEDE SCALE. ALL DIMENSIONS, LOCATIONS & CONDITIONS MUST BE VERIFIED "IN-FIELD"

REVISIONS	BY

FOR THE PROJECT OF:
**JC LANDMARK
VILLAS D'LUXE IN THE DESERT
5TH STREET & MESQUITE AVE.
DESERT HOT SPRINGS, CA.**

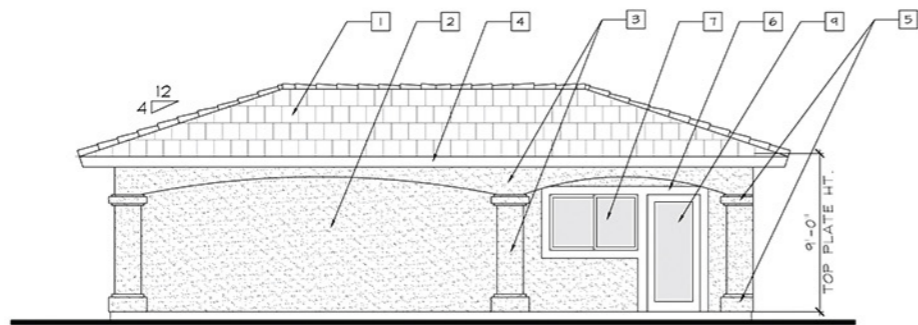
ARCHITECT
WENDELL W. YEITH ARCHITECT
80-300 ULLSWATER DRIVE
INDIO, CA. 92203
TEL. 1607-993-4996, FAX. 200-1662

REGISTERED ARCHITECT VINOYDITC
NO. C5297
EX. 11-20-21

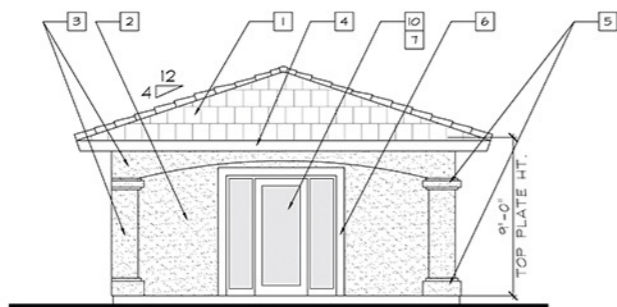
SHEET TITLE
**MAIN BUILDING
SECTIONS**

DESIGNERS
DCS DESIGNERS
P.O. BOX 926
DESERT HOT SPRINGS, CA.
92240 PHONE: 760.369.2550

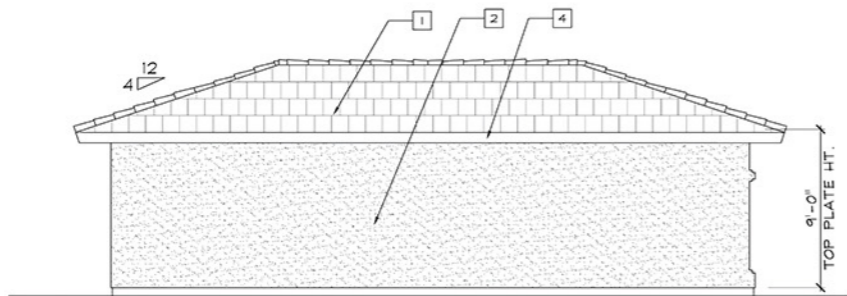
DATE: MAR. 05, 2020
SCALE: AS SHOWN
SHEET: JC LANDMARK #292
OF SHEETS: **AA**



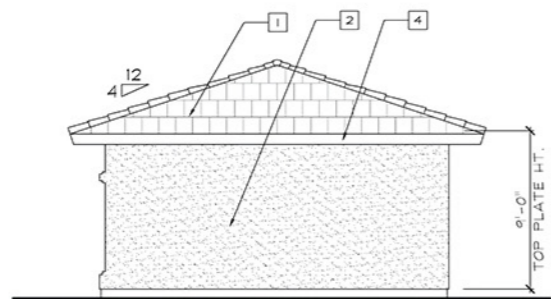
FRONT ELEVATION
1/4" = 1'-0" SOUTH



RIGHT SIDE ELEVATION
1/4" = 1'-0" EAST



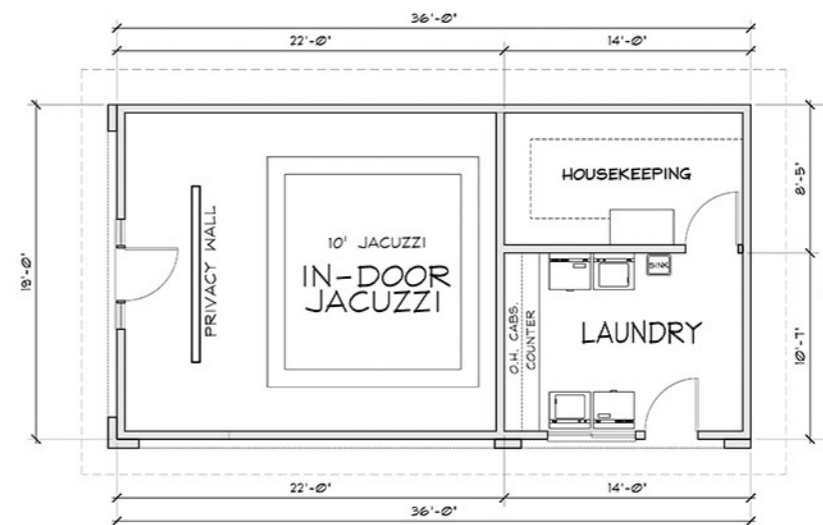
REAR ELEVATION
1/4" = 1'-0" NORTH



LEFT SIDE ELEVATION
1/4" = 1'-0" WEST

FINISH SCHEDULE

- 1 ROOF TILE - EAGLE CONC. - SIERRA MADRE (#4503)
- 2 STUCCO #1 - MAIN BUILDING AREA L'GHADRA - DOVE GRAY X40
- 3 STUCCO #2 - ARCHES & COLUMNS L'GHADRA - SILVER GRAY X16
- 4 STUCCO #3 - FASCIA L'GHADRA - THUNDER SKY P2010
- 5 STUCCO #4 - COLUMN ACCENTS L'GHADRA - THUNDER SKY P2010
- 6 STUCCO #4 - WINDOW & DOOR TRIM L'GHADRA - THUNDER SKY P2010
- 7 WINDOWS - ALUMINUM FRAMED GLAZING WITH A WHITE ANODIZED FINISH
- 8 FRENCH DOOR I-LIGHT
- 9 FRENCH DOOR I-LIGHT, W2-SIDELIGHTS
- 10 BLOCK WALLS - ORGO PRECISION 'GRAY'
- 11 POOL VENER - CORONALDO EASTERN LEDGE 'CARMEL MOUNTAIN'
- 12 STONE PAVERS COURTYARD - STONE GRAY 'MOSAIC TILE'
- 13 WROUGHT IRON - GATES, DRIVEWAY FENCE & TRASH



FLOOR PLAN
1/4" = 1'-0" 6 UNITS



* NOTE: ALL MEASUREMENTS SUPERSEDE SCALE. ALL DIMENSIONS, LOCATIONS & CONDITIONS MUST BE VERIFIED "IN-FIELD"

REVISIONS	BY

ARCHITECT
WENDELL W. YEITH ARCHITECT
80-300 JULLSUATER DRIVE
INDIO, CA. 92203
TEL: 760-393-4896, FAX: 760-360-1602

REGISTERED ARCHITECT
L. EMBELL W. YEITH
NO. C5297
EX. 11-00-31
STATE OF CALIFORNIA

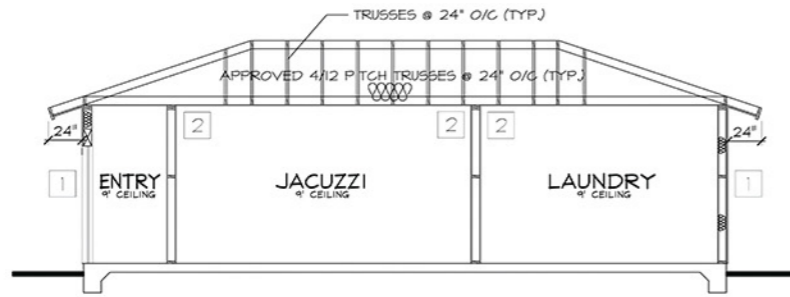
FOR THE PROJECT OF:
**JC LANDMARK
VILLAS D'LUXE IN THE DESERT
5TH STREET & MESQUITE AVE.
DESERT HOT SPRINGS, CA.**

SHEET TITLE
**JACUZZI/LAUNDRY
FLOOR PLAN
ELEVATIONS**

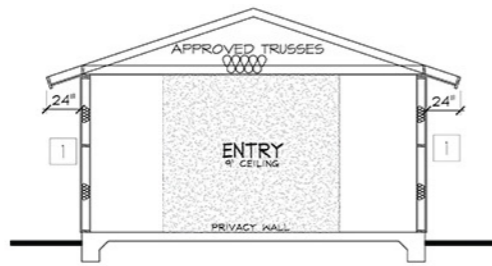
DESIGNERS
DCS DESIGNERS
P.O. BOX 926
DESERT HOT SPRINGS, CA.
92240 PHONE: 760.369.2550

OWNER BY	DATE
DCS	MAR. 05, 2020
SCALE	AS SHOWN
SHEET	JC LANDMARK #262
OF SHEETS	15

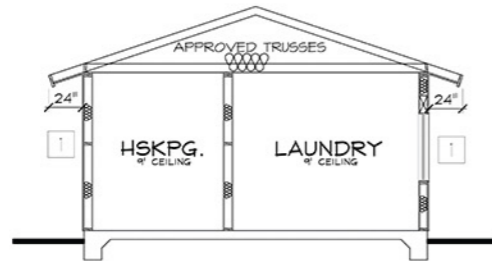
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SECTION "A/A"
1/4" = 1'-0"



SECTION "B/B"
1/4" = 1'-0"

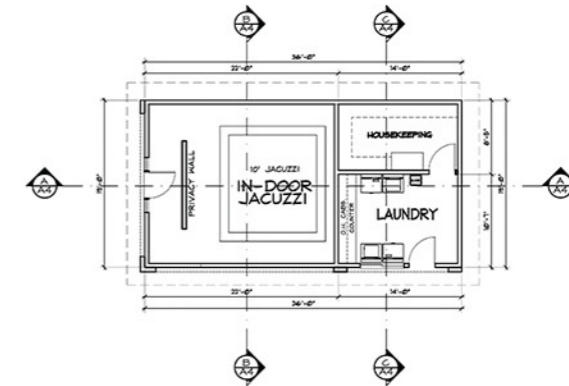


SECTION "C/C"
1/4" = 1'-0"

1 EXT
TYPICAL EXTERIOR STUDWALL: 2x6 @ 16" O/C, W/4x12 HEADERS, DBL. 2x6 TOP PLATE, P.T. SILL PLATE W/1/2" x 10" ANCHOR BOLTS @ 6' O/C - 12" FROM CORNERS AND DOORWAYS, FIRESTOPS - HORIZ. BLOCKING #4 O/C (VERT.), 7/8" STUCCO (3 COAT) W/26 GA. GALV. FLASHING AND GA. GALV. KEEP SCREED, R-21 INSUL. ALL WALLS, ALL BEAMS AS PER STRU.

2 INT
TYPICAL INTERIOR STUDWALL: 2x4x6 @ 16" O/C, W/4x12-4x12 HEADERS, DBL. 2x4x6 TOP PLATE, P.T. SILL PLATES W/1/2" CONCRETE NAILS @ 6" (CODED 12") @ 18" O/C, FIRESTOP/HORIZ. BLOCKING # 4 O/C (VERT.), 1/2" DRYWALL (5/8" TYPE "X") @ CEILINGS, PARTY WALLS AND DRAFT STOPS R-38 INSUL. AT ALL CEILINGS. ALL BEAMS AS PER STRU.

REFER TO FOUNDATION PLAN FOR SHEAR PANEL LOCATIONS, POSTS & HARDWARE



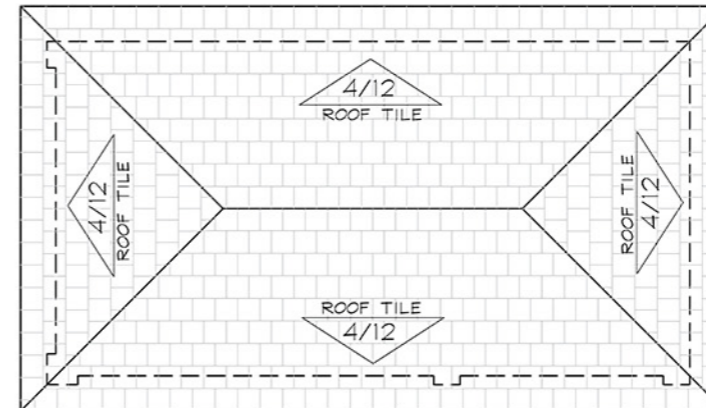
FLOOR PLAN KEY
1/8" = 1'-0" JACUZZI/LAUNDRY

ROOF TILE
ROOF TILE SHALL BE MANUFACTURED BY U.S. TILE CO. I.C.B.O. NO. 3523 2 PIECE MISSION TILE OVER 30# UNDERLAYMENT.

NOTE: ATTIC VENTS ARE REQUIRED TO BE PROTECTED BY 1/2" CORROSION RESISTANT METAL MESH (SEE 1505.3 UBC)

LEGEND

- 26 GA. GALV. W/8 MESH 26 GA. GALV. WIRE CLOTH
- ROOF VENT - 12"x12" FLAT ROOF VENT (144 S.I. FREE AREA/EA) INSTALLED ON 6" CURB
- CHASIN ROOF VENT 100 SQ' NET FREE AREA PAINTED TO MATCH TILE
- ROOF SCUPPER
- ROOF DRAIN
- SOLAR TUBE



ROOF PLAN
1/4" = 1'-0" JACUZZI



* NOTE: ALL MEASUREMENTS SUPERSEDE SCALE. ALL DIMENSIONS, LOCATIONS & CONDITIONS MUST BE VERIFIED "IN-FIELD"

REVISIONS	BY



ARCHITECT
WENDELL W. YETH ARCHITECT
800-360 ULLSWATER DRIVE
INDIO, CA. 91703
TEL. 760-393-4896, FAX. 760-200-1602

FOR THE PROJECT OF:
JC LANDMARK
VILLAS D'LUXE IN THE DESERT
5TH STREET & MESQUITE AVE.
DESERT HOT SPRINGS, CA.

SHEET TITLE
JACUZZI/LAUNDRY
ROOF PLAN
SECTIONS

DESIGNERS
DCS DESIGNERS
P.O. BOX 926
DESERT HOT SPRINGS, CA.
92240 PHONE: 760.369.2550

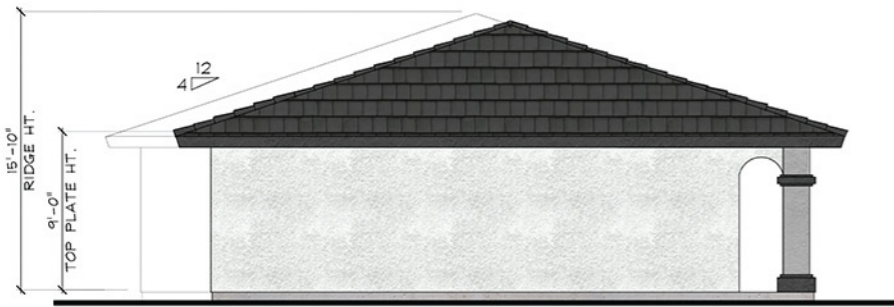
DATE	MAR. 05, 2020
SCALE	AS SHOWN
PROJECT	JC LANDMARK #22
SHEET	A6

OF SHEETS

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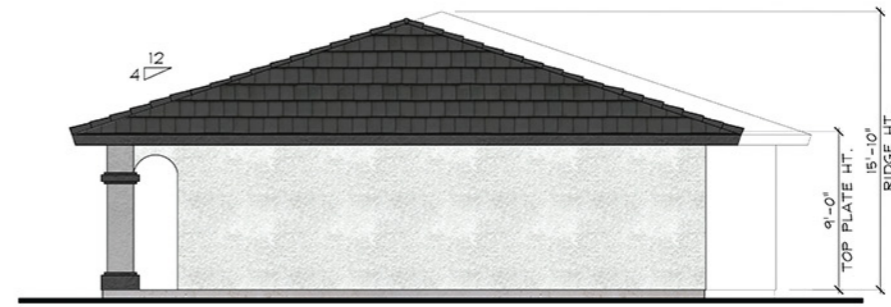
FRONT ELEVATION
1/4" = 1'-0" NORTH



LEFT SIDE ELEVATION
1/4" = 1'-0" EAST

FINISH SCHEDULE

- ROOF TILE - EAGLE CONC. - SIERRA MADRE (#4503)
- STUCCO #1 - MAIN BUILDING AREA
LOHABRA - DOVE GRAY 340
- STUCCO #2 - ARCHES & COLUMNS
LOHABRA - SILVER GRAY X16
- STUCCO #3 - FASCIA
LOHABRA - THUNDER SKY P2040
- STUCCO #4 - COLUMN ACCENTS
LOHABRA - THUNDER SKY P2040
- STUCCO #5 - WINDOW & DOOR TRIM
LOHABRA - THUNDER SKY P2040
- WINDOWS - ALUMINUM FRAMED GLAZING WITH A WHITE
ANODIZED FINISH
- CUSTOM WOOD ENTRY DOORS - 5-PANEL
- FRENCH DOOR 1-LIGHT
- FRENCH DOOR 1-LIGHT, W/2-SIDELIGHTS



RIGHT SIDE ELEVATION
1/4" = 1'-0" WEST



REAR ELEVATION
1/4" = 1'-0" SOUTH

ELEVATIONS
1/4" = 1'-0"

* NOTE: ALL MEASUREMENTS SUPERSEDE SCALE. ALL DIMENSIONS, LOCATIONS & CONDITIONS MUST BE VERIFIED "IN-FIELD"

REVISIONS	BY



ARCHITECT
WENDELL W. VEITH ARCHITECT
80-300 ULLSWATER DRIVE
INDIO, CA 92203
TEL: 760-953-4956, FAX: 760-200-1602

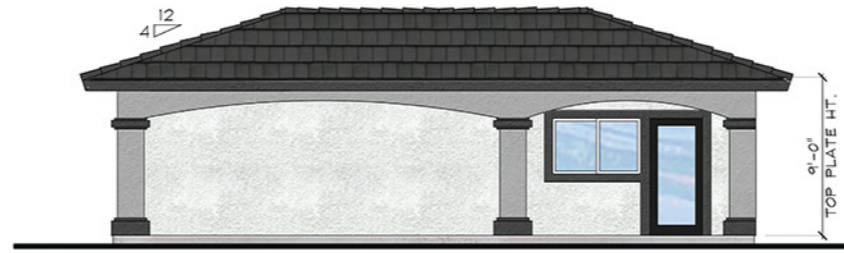
FOR THE PROJECT OF:
**JC LANDMARK
VILLAS D'LUXE IN THE DESERT
5TH STREET & MESQUITE AVE.
DESERT HOT SPRINGS, CA.**

SHEET TITLE
MAIN BUILDING
BUILDING ELEVATIONS

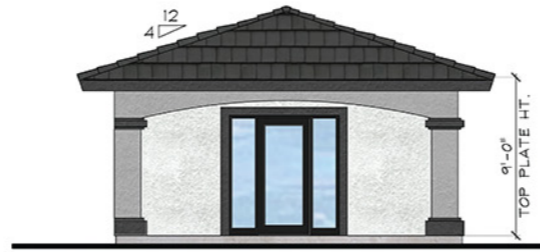
DESIGNERS
DCS DESIGNERS
P.O. BOX 926
DESERT HOT SPRINGS, CA.
92240 PHONE: 760.369.2550

OWNER BY DATE	DATE
AS SHOWN	FEB. 02, 2020
JC LANDMARK #202	
SHEET	3
OF SHEETS	3

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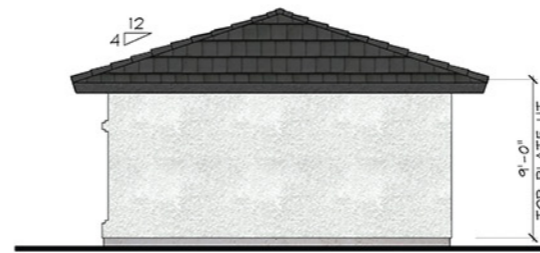
FRONT ELEVATION
1/4" = 1'-0" SOUTH



RIGHT SIDE ELEVATION
1/4" = 1'-0" EAST



REAR ELEVATION
1/4" = 1'-0" NORTH



LEFT SIDE ELEVATION
1/4" = 1'-0" WEST

FINISH SCHEDULE

- 1 ROOF TILE - EAGLE CONC. - SIERRA MADRE (#4503)
- 2 STUCCO #1 - MAIN BUILDING AREA
LOHABRA - DOVE GRAY X40
- 3 STUCCO #2 - ARCHES & COLUMNS
LOHABRA - SILVER GRAY X16
- 4 STUCCO #3 - FASCIA
LOHABRA - THUNDER SKY P2040
- 5 STUCCO #4 - COLUMN ACCENTS
LOHABRA - THUNDER SKY P2040
- 6 STUCCO #4 - WINDOW & DOOR TRIM
LOHABRA - THUNDER SKY P2040
- 7 WINDOWS - ALUMINUM FRAMED GLAZING WITH A WHITE
ANODIZED FINISH
CUSTOM WOOD ENTRY DOORS - 5-PANEL
- 8 FRENCH DOOR I-LIGHT
- 9 FRENCH DOOR I-LIGHT, W/2-SIDELIGHTS

* NOTE: ALL MEASUREMENTS SUPERSEDE SCALE. ALL DIMENSIONS, LOCATIONS & CONDITIONS MUST BE VERIFIED "IN-FIELD"

REVISIONS	BY



ARCHITECT
WENDELL W. VEITH ARCHITECT
80-300 ULLSWATER DRIVE
INDIO, CA 91703
TEL: 760-993-4996, FAX: 760-1662

FOR THE PROJECT OF:
**JC LANDMARK
VILLAS D'LUXE IN THE DESERT
5TH STREET & MESQUITE AVE.
DESERT HOT SPRINGS, CA.**

SHEET TITLE
JACUZZI/LAUNDRY
FLOOR PLAN
ELEVATIONS

DESIGNERS
DCS DESIGNERS
P.O. BOX 926
DESERT HOT SPRINGS, CA.
92240 PHONE: 760.369.2550

OWNER BY DATE
FEB. 02, 2020
SCALE
AS SHOWN
JC LANDMARK #262
SHEET
A5
OF SHEETS

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IN THE CITY OF DESERT HOT SPRINGS COUNTY OF RIVERSIDE, STATE OF CALIFORNIA PRECISE GRADING PLAN

LOT 5 and 6, D.H.S. TRACT NO. 6, M.B. 24/21

FIFTH STREET

A RECYCLING A DIVERSION OF WASTE FROM CONSTRUCTION AND DEMOLITION OF EXISTING IMPROVEMENT WHICH INCLUDES VEGETATION ETC. IS REQUIRED IN ACCORDANCE WITH THE MUNICIPAL CODE SECTION 8.08.

WORK WITHIN THE PUBLIC RIGHT OF WAY
REQUIRES A SEPARATE ENCROACHMENT PERMIT

UTILITY NOTE:
UTILITIES SHOWN ARE APPROXIMATE ONLY, FOR LOCATION AND DEPTH CALL DIG ALERT OR MSWD.

LEGEND:

FF	FINISH FLOOR ELEVATION
FG	FINISH GROUND
FS	FINISH SURFACE
GB	GRADE BREAK
GF	GARAGE FLOOR
HP	HIGH POINT
PAD	FINISH PAD ELEVATION
PA	PLANTER AREA
PUE	PUBLIC UTILITY EASEMENT
TC	TOP OF CURB
TRC	TOP ROLL CURB
FL	FLOWLINE
INV	INVERT
TG	TOP OF GRATE
TW	TOP OF WALL
TF	TOP OF FOOTING
TOS	TOP OF SLOPE
BOS	BOTTOM OF SLOPE P.L.
WS	WATER SURFACE R/W
TRW	TOP RETAINING WALL
EP	EDGE OF PAVEMENT
P.L.	PROPERTY LINE
R/W	RIGHT OF WAY

EXISTING CONTOUR	----- (100) -----
PROPOSED CONTOUR	----- 100 -----
EXISTING ELEVATION (100.50)
FINISHED ELEVATION 101.50
DRAINAGE SWALE	----->-----
PROPERTY LINE	-----E-----
CENTERLINE	-----C-----
RIGHT-OF-WAY (R/W)	-----R-----
EXIST. 8" SEWER LINE	-----S-----
EXIST. 8" WATER LINE	-----W-----
EXIST. BLOCK WALL	-----B-----
RETAINING WALL	-----R-----
SCREEN/GARDEN WALL	-----G-----
ROOF DRAIN CONNECTION	-----D-----
CONCRETE FINISH	-----C-----
ASPHALT FINISH	-----A-----

NOTIFICATIONS:

THE CONTRACTOR IS REQUIRED TO NOTIFY THE EXISTING ORGANIZATIONS IN THE AREA BEFORE THE START OF ANY WORK. THE UTILITIES IN THE AREA ARE:

WATER/SEWER	MISSION SPRINGS WATER DISTRICT (760) 329-6448
COUNTY ROADS	RIVERSIDE COUNTY TRANSPORTATION DEPARTMENT (760) 863-8267
CITY STREETS	CITY OF DESERT HOT SPRINGS (760) 329-6411 x 217
ELECTRICITY	EDISON INTERNATIONAL (760) 655-4555
GAS	SOUTHERN CALIFORNIA GAS (909) 335-7729
TELEPHONE	FRONTIER (760) 864-1715
CABLE TV	SPECTRUM (760) 340-1312
FLOOD CONTROL	RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT (909) 955-1200
UNDERGROUND	UTILITIES UNDERGROUND SERVICE ALERT (800) 227-2600

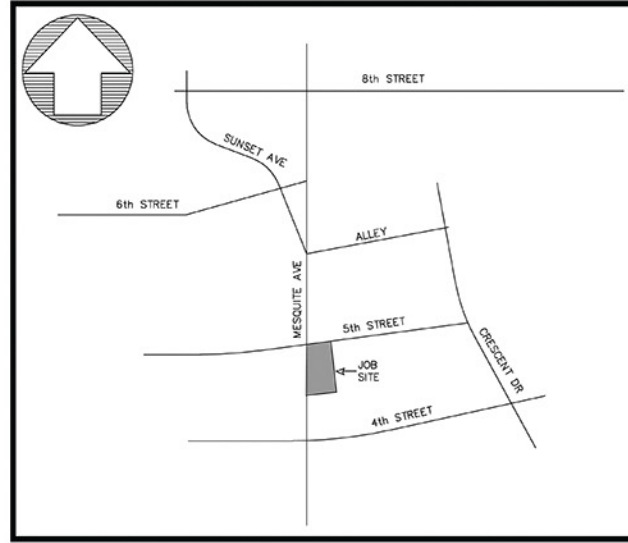
Estimated Quantities

RAW FILL - 584 C.Y.
RAW OUT - 1025 C.Y.
A SEPARATE HAUL PERMIT WILL BE NECESSARY FOR EXPORTED MATERIAL FROM THE SITE.

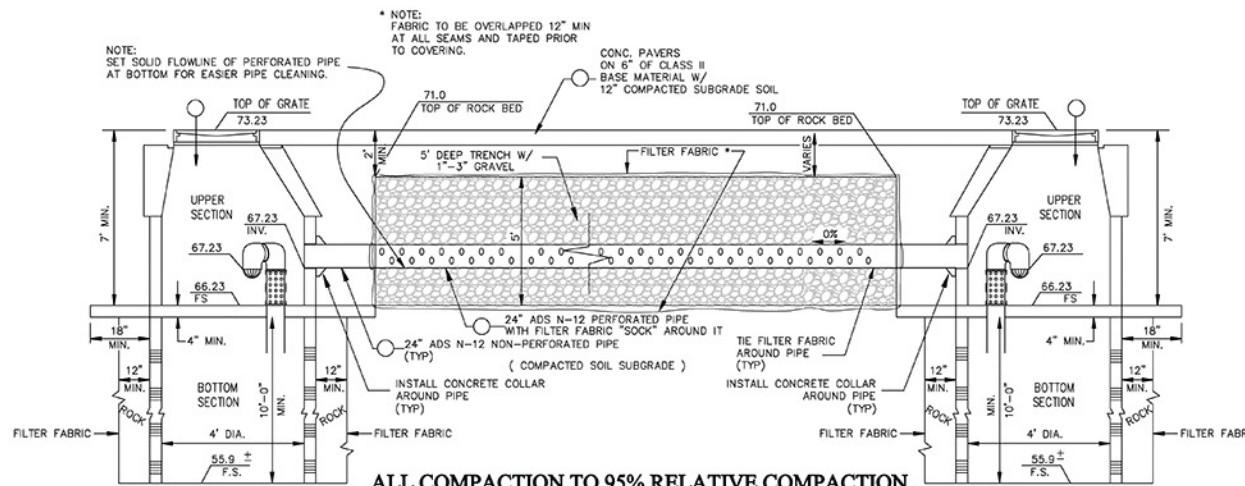
NOTE:
QUANTITIES SHOWN ARE FOR PERMIT PURPOSES ONLY.
CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN QUANTITIES.

CONSTRUCTION contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.

SOIL'S ENGINEER'S CERTIFICATE:
WE HAVE REVIEWED THIS GRADING PLAN AND FIND IT TO BE IN SUBSTANTIAL CONFORMANCE WITH THE RECOMMENDATIONS OF OUR SOILS REPORT
DATED: _____
FILE NO.: _____
DOC. NO.: _____
SIGNATURE _____



VICINITY MAP
NO SCALE



ALL COMPACTION TO 95% RELATIVE COMPACTION.

SECTION OF UNDERGROUND RETENTION

NOT TO SCALE

GENERAL GRADING NOTES:

- ALL GRADING AND RELATED IMPROVEMENTS SHALL CONFORM TO THE FOLLOWING, AS APPROPRIATE:
 - UNIFORM BUILDING CODE, CURRENTLY ADOPTED EDITION.
 - CITY OF DESERT HOT SPRINGS ORDINANCE 92-2
 - STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK), 2000 EDITION.
 - AMERICANS WITH DISABILITIES ACT.
 - NPDES PERMIT
- ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT ANY CONSTRUCTION / GRADING.
- DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL SHOULD BE PROVIDED TO PREVENT PONDING WATER AND DAMAGE TO ADJACENT PROPERTIES.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
- NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.
- MAXIMUM CUT AND FILL SLOPE = 2:1
- STABILITY CALCULATIONS WITH A FACTOR OF SAFETY OF AT LEAST ONE AND FIVE TENTH (1.5) SHALL BE SUBMITTED BY A SOILS ENGINEER TO THE BUILDING AND SAFETY DEPARTMENT FOR CUT AND FILL SLOPES OVER 30' IN VERTICAL HEIGHT.
- PROVIDE 2' WIDE BY 0.5' HIGH BERM OR EQUIVALENT ALONG THE TOP OF ALL SLOPES.
- PROVIDE A BROW DITCH, DESIGNED TO HANDLE 100 YR. 0.2 STORM FLOWS, ALONG THE TOP OF CUT SLOPES.
- MINIMUM BUILDING PAD AND DRAINAGE SWALE SLOPE SHALL BE 1% IF CUT OR FILL IS LESS THAN 10', 2% IF CUT OR FILL IS GREATER THAN 10'. DRAINAGE SWALES SHALL BE A MINIMUM OF 0.2' DEEP AND BE CONSTRUCTED A MINIMUM OF 2' FROM THE TOP OF CUT OR FILL SLOPES.
- "NO OBSTRUCTION OF FLOOD PLANS OR NATURAL WATER COURSES SHALL BE PERMITTED."
- ALL EXISTING DRAINAGE COURSES ON THE PROJECT SITE MUST CONTINUE TO FUNCTION, ESPECIALLY DURING STORM CONDITIONS. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OPERATIONS.
- FINISH GRADE SHALL BE SLOPED AWAY FROM ALL EXTERIOR WALLS AT NOT LESS THAN 1/2" PER FOOT FOR A MINIMUM OF 3'
- CUT AND FILL SLOPES EQUAL TO OR GREATER THAN 3' IN VERTICAL HEIGHT SHALL BE PLANTED WITH GRASS OR GROUND COVER TO PROTECT THE SLOPE FROM EROSION AND INSTABILITY IN ACCORDANCE WITH RIVERSIDE COUNTY ORDINANCE NO. 457 PRIOR TO FINAL GRADING INSPECTION.
- EROSION CONTROL: ALL SLOPES REQUIRED TO BE PLANTED SHALL BE PLANTED WITH ROSEAE ICE PLANT (OR EQUAL) GROUND COVER AT 12" ON CENTER. SLOPES EXCEEDING 15' IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED TREES SPACED NOT TO EXCEED 20' ON CENTER OR SHRUBS NOT TO EXCEED 10', OR A COMBINATION OF SHRUBS AND TREES NOT TO EXCEED 15' IN ADDITION TO A GRASS MIX OR GROUND COVER. SLOPES EXCEEDING 4' IN VERTICAL HEIGHT SHALL BE PROVIDED WITH AN IN-GROUND IRRIGATION SYSTEM. SLOPES EQUAL TO OR LESS THAN 4', MAY BE IRRIGATED BY HOSE BIB LOCATED AT THE TOP OR TOE OF THE SLOPE, SPACED TO MAKE USE OF A HOSE NO LONGER THAN 50' IN LENGTH. THE IRRIGATION SYSTEM SHALL BE PROVIDED WITH AN APPROPRIATE BACKFLOW DEVICE PER U.P.C. CHAPTER 10.
- ALL GRADING SHALL BE DONE IN CONFORMANCE WITH RECOMMENDATIONS OF THE PRELIMINARY SOILS INVESTIGATION BY _____ TWO SETS OF THE FINAL COMPACTION REPORT SHALL BE SUBMITTED TO THE CITY OF DESERT HOT SPRINGS BUILDING AND SAFETY DEPARTMENT THE REPORT SHALL INCLUDE FOUNDATION DESIGN RECOMMENDATION AND CERTIFICATION THAT GRADING HAS BEEN DONE IN CONFORMANCE WITH RECOMMENDATIONS OF THE SOILS INVESTIGATION REPORT.
- IF STEEP SLOPING TERRAIN OCCURS UPON WHICH FILL IS TO BE PLACED, IT MUST BE CLEARED, KEVED AND BENCHMARKED TO FIRM NATURAL SOIL FOR FULL SUPPORT. PREPARATION SHALL BE APPROVED BY A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL PRIOR TO PLACEMENT OF FILL MATERIAL.
- ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A COMPETENT SOILS ENGINEER WHO SHALL CERTIFY THAT ALL FILL HAS BEEN PROPERLY PLACED AND WHO SHALL SUBMIT A FINAL COMPACTION REPORT FOR ALL FILLS OVER 1' DEEP.
- FINAL COMPACTION REPORT WILL BE REQUIRED FOR ALL FILLS GREATER THAN 1'.
- A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL SHALL SUBMIT TO THE BUILDING AND SAFETY DEPARTMENT WRITTEN CERTIFICATION OF COMPLETION OF ROUGH GRADING IN ACCORDANCE WITH THE APPROVED GRADING PLAN PRIOR TO REQUESTING INSPECTION AND ISSUANCE OF THE BUILDING PERMIT. CERTIFICATION SHALL INCLUDE LINE, GRADE, ELEVATION AND LOCATION OF CUT/FILL SLOPES.
- A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL SHALL SUBMIT CERTIFICATION OF BUILDING PAD ELEVATION. WHERE SPECIFIC ELEVATIONS ARE REQUIRED, THE ELEVATION (WITH RESPECT TO MEAN SEA LEVEL) SHALL BE GIVEN. IF AN ELEVATION WITH RESPECT TO ADJACENT GROUND SURFACE IS REQUIRED, THE ACTUAL DISTANCE ABOVE THE ADJACENT GROUND SHALL BE GIVEN.
- A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL ENGINEER SHALL SUBMIT TO THE CITY OF DESERT HOT SPRINGS BUILDING AND SAFETY DEPARTMENT WRITTEN CERTIFICATION OF COMPLETION OF FINAL GRADING IN ACCORDANCE WITH THE APPROVED PLAN FOR ALL GRADING DESIGNATED AS "ENGINEERED GRADING".
- THE CONTRACTOR SHALL NOTIFY THE CITY BUILDING AND SAFETY DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF REQUESTING FINISH LOT GRADING AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION FOR EACH LOT.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SAFETY SERVICE ALERT AT 1-800-227-2600 TWO DAYS BEFORE DIG. ALSO CONTRACTOR SHALL NOTIFY THE CITY OF DESERT HOT SPRINGS BUILDING AND SAFETY DEPARTMENT AT (760) 329-6411 AT LEAST 24 HOURS IN ADVANCE OF REQUESTING FINISH LOT GRADING AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION FOR EACH LOT.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. SUBJECT TO PROVISIONS OF SECTION 4215 OF THE CALIFORNIA GOVERNMENT CODE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
- CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE PROVIDED ON ALL PROJECTS AS REQUIRED BY THE CITY OF DESERT HOT SPRINGS BUILDING AND SAFETY DEPARTMENT, OR AS DIRECTED BY THE CITY ENGINEER. AS A MINIMUM ALL CONSTRUCTION SIGNING, LIGHTING AND BARRICADING ON CITY-OWNED PARCELS OR PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, "MANUAL OF TRAFFIC CONTROL FOR CONSTRUCTION AND MAINTENANCE WORK ZONES", IN EFFECT DURING THE TIME OF THE WORK.
- EVIDENCE OF NPDES AND PM10 PERMIT, IF REQUIRED, SHALL BE SUBMITTED TO BUILDING AND SAFETY DEPARTMENT PRIOR TO ISSUANCE OF THE GRADING PERMIT.
- TOPOGRAPHIC INFORMATION: HORIZONTAL AND VERTICAL CONTROL BY: JHA ENGINEERING (JOHN H. HACKER)

PM10 DUST MITIGATION NOTES:

- ENTIRE SITE SHALL BE PRE-WATERED WITH RAIN BIRD TYPE SPRINKLERS.
- BLOWING DUST SHALL BE CONTROLLED BY WATERING DURING CONSTRUCTION AND ON WEEKENDS AS NECESSARY.
- LANDSCAPING SHALL BE INSTALLED AS SOON AS PRACTICAL, AND DUST SHALL BE CONTROLLED BY WATERING UNTIL SUCH TIME THAT LANDSCAPING IS INSTALLED.
- THE DEVELOPER SHALL MAINTAIN RECORDS TO DOCUMENT THE DATES OF ACTIVE OPERATIONS. ALL APPLICABLE FUGITIVE DUST SOURCE TYPES, AND ACTIONS TAKEN, THESE RECORDS SHALL BE RETAINED FOR A PERIOD OF AT LEAST SIX MONTHS AND THESE RECORDS SHALL BE AVAILABLE TO THE COUNTY OF RIVERSIDE DEPARTMENT OF BUILDING AND SAFETY UPON REQUEST.
- THE DEVELOPER SHALL PREVENT THE EMISSIONS OF VISIBLE DUST IN THE ATMOSPHERE BEYOND THE PROJECT BOUNDARY.
- ON THE LAST DAY OF ACTIVE OPERATIONS PRIOR TO A WEEKEND, HOLIDAY, OR OTHER PERIOD WHEN ACTIVE OPERATIONS WILL OCCUR FOR NOT MORE THAN FOUR (4) CONSECUTIVE DAYS: APPLY WATER WITH A MIXTURE OF CHEMICAL STABILIZER DILUTED TO NOT LESS THAN 1/20th OF THE CONCENTRATION REQUIRED TO MAINTAIN A STABILIZED SURFACE FOR A PERIOD OF SIX (6) MONTHS.
- ACCEPTABLE CHEMICAL STABILIZERS:

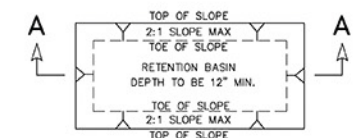
7.1. SOIL CEMENT	MIDWEST INDUSTRIAL SUPPLY	1-800-321-0699
7.2. ENVROKLEEN	MIDWEST INDUSTRIAL SUPPLY	1-800-321-0699
7.3. MAGNESIUM CHLORIDE	LEE CHEMICAL, INC.	1-909-369-5292
7.4. CALCIUM CHLORIDE	LEE CHEMICAL, INC.	1-909-369-5292
7.5. ARENAS (HORSE ARENAS)	MIDWEST INDUSTRIAL SUPPLY	1-800-321-0699
- HIGH WIND MEASURES (25 MPH OR GREATER)
 - CEASE ALL ACTIVE OPERATIONS; OR
 - APPLY WATER WITHIN 15 MINUTES TO ANY SOIL SURFACE WHICH IS BEING MOVED OR OTHERWISE DISTURBED.
- PM10 MEASURES MUST BE IMPLEMENTED DURING ALL ASPECTS OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO GRADING, EXCAVATION OF FOOTINGS, TRENCHING AND BACK FILL FOR UNDERGROUND UTILITIES, TEMPORARY STOCKPILES, AND BUILDING CONSTRUCTION ACTIVITIES.
- ALL TRACK OUT DIRT MUST BE REMOVED FROM STREETS.

24 HR. EMERGENCY CONTACT:

DCS DESIGNERS
(760) 369-2550

FEMA FLOOD ZONE:

THE PROJECT IS COVERED BY FIRM PANEL NUMBER 06065C0885G REVISED 8/28/2008. THIS MAP INDICATED THAT THE PROJECT AREA IS DESIGNATED AS ZONE X AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.



SECTION A-A

RETENTION BASIN DETAIL (TYP)

NOT TO SCALE

LOT SIZE:

LOT AREA: 23,343 SQ.FT. (0.53 ACRES)
DISTRIBUTED AREA: 23,343 SQ.FT. (0.53 ACRES)

EASEMENT NOTES:

5' PUBLIC UTILITY EASEMENT ALONG THE SOUTH PROPERTY LINE PER TRACT MAP: DESERT HOT SPRINGS TRACT 6

FUGITIVE DUST CONTROL NOTES:

- A COMPLETE AND APPROVED COPY OF THE FUGITIVE DUST CONTROL PLAN AND ALL MAPS MUST BE ON-SITE PRIOR TO BEGINNING CONSTRUCTION ACTIVITY AND MUST BE RETAINED ON-SITE AT ALL TIMES DURING PROJECT CONSTRUCTION. THE COPY OF THE FUGITIVE DUST CONTROL PLAN MUST SHOW THE APPROVAL BLOCK SIGNED AND DATED BY THE ENGINEERING DEPARTMENT.
- CONSTRUCTION SIGNAGE MUST BE INSTALLED ON-SITE PRIOR TO CONSTRUCTION. GUIDELINES FOR CONSTRUCTION SIGNAGE ARE FOUND IN CHAPTER 5 OF THE COACHELLA VALLEY FUGITIVE DUST CONTROL HANDBOOK.
- DUST CONTROL IS REQUIRED 24 HOURS A DAY, 7 DAYS A WEEK FOR THE DURATION OF THE PROJECT REGARDLESS OF WIND CONDITIONS OR CONSTRUCTION PROJECT STATUS.
- DAILY RECORD KEEPING OF DUST CONTROL ACTIONS IS REQUIRED TO BE COMPILED AND RETAINED DURING PROJECT DURATION AND FOR THREE YEARS AFTER PROJECT COMPLETION.



Know what's below.
Call before you dig

UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARED BY THESE PLANS.
ENGINEER'S NOTE TO CONTRACTOR: CONSTRUCTION CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN IN THESE PLANS WAS OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO, THESE LINES OR STRUCTURES.

#	REVISIONS	DATE	APP.

BENCHMARK:
RIV. CO. BM 603-64-68
BRASS DISC NEXT TO FLAG POLE AT THE OLD U.S. POST OFFICE ON PIERSON BLVD.
ELEV: 1070.87 - NGVD 29
BASIS OF BEARING:
CENTERLINE OF MESQUITE AVENUE
N 00°11'30" W PER M.B. 24/20-21

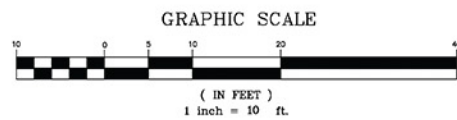
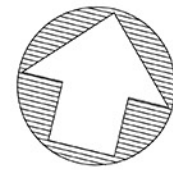
JHA Engineers
43585 Monterey Avenue, Suite 7
Palm Desert, CA. 92260
(760) 345-1952
dan@jhaengineering.com

OWNER / DEVELOPER
DCS DESIGNERS
PO BOX 524
D.H.S., CA. 92240
(760) 369-2550
DCS@DCSDSIGNERS.COM

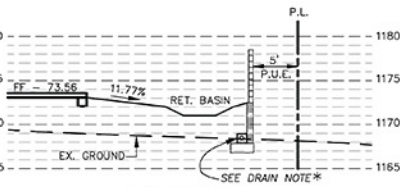
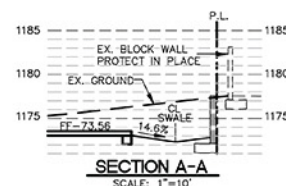
PREPARED UNDER THE DIRECT SUPERVISION OF:
JOHN H. HACKER, P.E. DATE _____
R.C.E. 14614
GEOTECHNICAL CERTIFICATION, REQUIRED, BY:
DANIEL PORRAS DATE _____
PUBLIC WORKS DIRECTOR

IN THE CITY OF DESERT HOT SPRINGS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
PRELIMINARY GRADING PLAN
SITE ADDRESS: FIFTH STREET
LEGAL DESCRIPTION: LOTS 5 & 6, D.H.S. TRACT 6, M.B. 24/21
SEC. 30, T. 2 S., R. 5 E., S.B.B. & M. A.P.N. 639-302-005 & 006

SHEET 1
OF 3
PRIVATE REFERENCE # 19-5876
CITY REFERENCE #



GRADING NOTE:
SLOPES STEEPER THAN 5:1 TO BE COVERED WITH ROCK 1" DIA. OR GREATER, 2' DEEP FOR EROSION CONTROL



DRAIN NOTE: 1) 1/2\"/>

CONSTRUCTION contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.

811
Know what's below.
Call before you dig

UNAUTHORIZED CHANGES & USES: THE ENGINEER PROVIDING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARED BY OF THESE PLANS.

ENGINEER'S NOTE TO CONTRACTOR: CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN IN THESE PLANS WAS OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO MISSING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO, THESE UTILITIES OR STRUCTURES.

#	REVISIONS	DATE	APP.

BENCHMARK:
R.V. CO. BM 603-64-68
BRASS DISC NEXT TO FLAG POLE AT THE OLD U.S. POST OFFICE ON PIERSON BLVD.
ELEV: 1070.87 - NGVD 29

BASIS OF BEARING:
CENTERLINE OF MESQUITE AVENUE
N 00°11'30" W PER M.B. 24/20-21

JHA Engineers
43585 Monterey Avenue, Suite 7
Palm Desert, CA 92260
(760) 345-1352
dan@jhaengineering.com

OWNER / DEVELOPER
SCALE: 1"=10'
PLOT DATE: 2/25/2020
DESIGN BY: DAN
DRAWN BY: DAN
CHECKED BY: JH

PREPARED UNDER THE DIRECT SUPERVISION OF:
JOHN H. HACKER, P.E. DATE
R.C.E. 14614

GEOTECHNICAL CERTIFICATION, REQUIRED, BY:
R.C.E. EXP. DATE

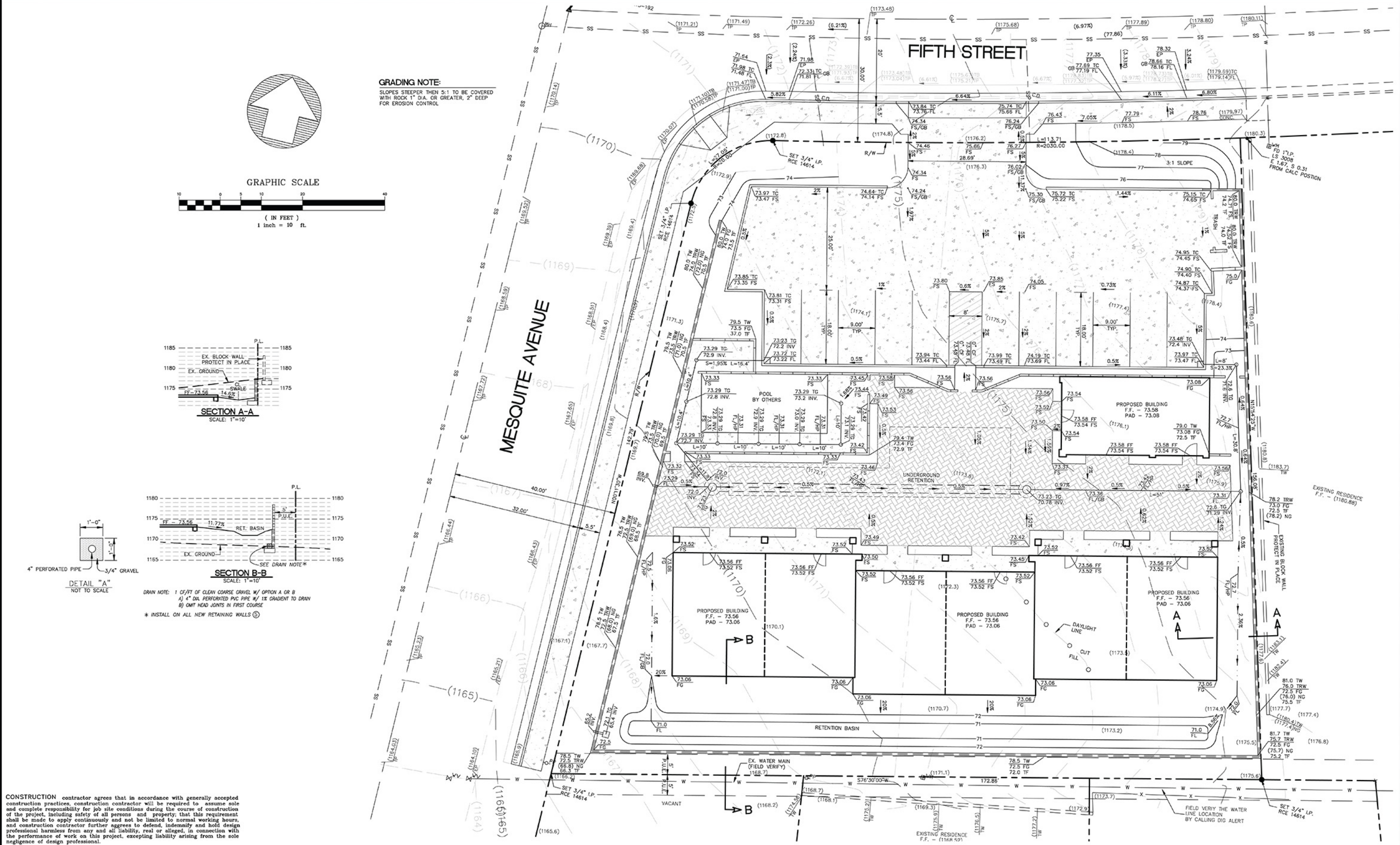
CITY OF DESERT HOT SPRINGS
DEPARTMENT OF PUBLIC WORKS
APPROVED BY:
DANIEL PORRAS
PUBLIC WORKS DIRECTOR DATE
CITY OF DESERT HOT SPRINGS
DEPARTMENT OF PUBLIC WORKS
RECOMMENDED FOR APPROVAL BY:
RAMY BESHARA
ASSOCIATE ENGINEER DATE

IN THE CITY OF DESERT HOT SPRINGS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

PRELIMINARY GRADING PLAN

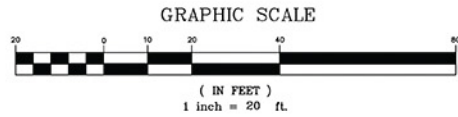
SITE ADDRESS: FIFTH STREET
LEGAL DESCRIPTION: LOTS 5 & 6, D.H.S. TRACT 6, M.B. 24/21
SEC. 30, T. 2, S. R. 5, E., S.B.B. & M. A.P.N. 639-302-005 & 006

SHEET **2**
OF **3**
PRIVATE REFERENCE # 19-5876
CITY REFERENCE #

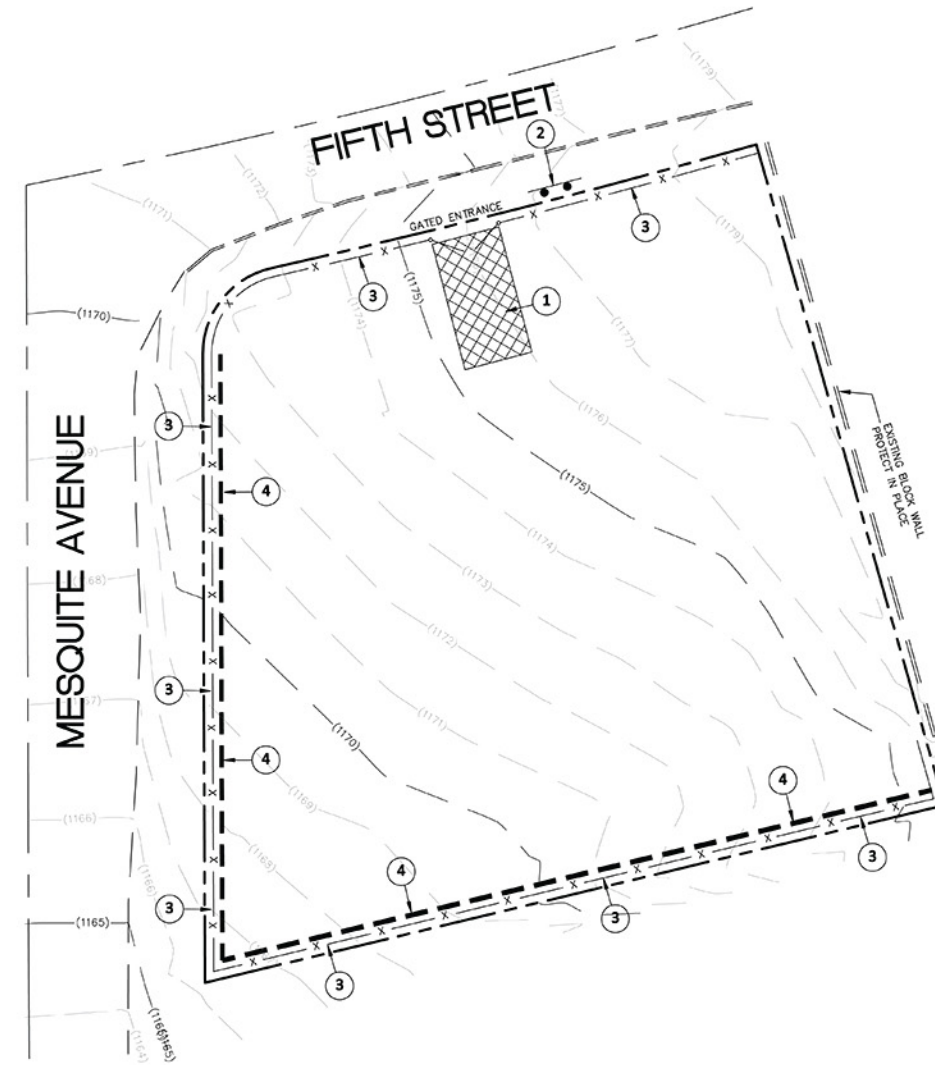


**IN THE CITY OF DESERT HOT SPRINGS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
EROSION CONTROL / SWPPP PLAN
LOT 5 and 6, D.H.S. TRACT NO. 6, M.B. 24/21
_____ FIFTH STREET**

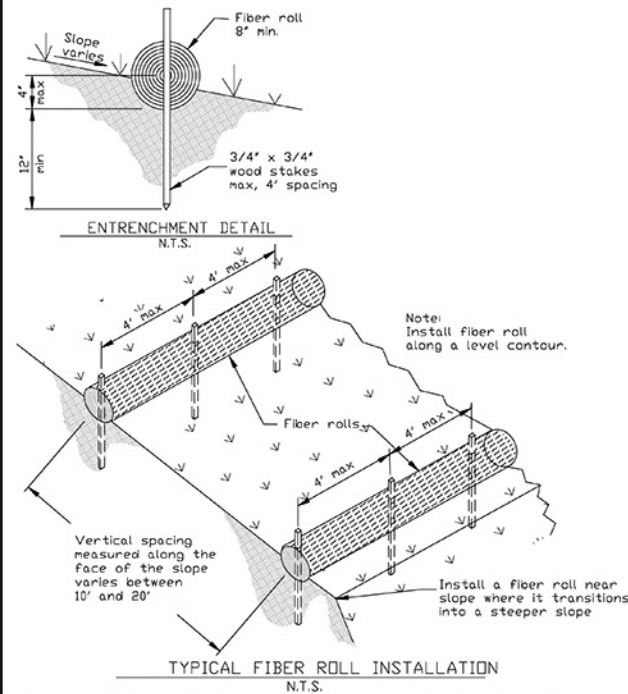
EROSION CONTROL NOTES:



24"	
CITY OF DESERT HOT SPRINGS PERMIT NO. # _____	
(THE DEVELOPER'S NAME GOES HERE) ONLY REQUIRED IF THERE IS A DEVELOPER	
THE PROJECT NAME GOES HERE	
IF YOU SEE DUST COMING FROM THIS PROJECT CALL	
(24 HR. CONTACT NAME)	(24 HR. CONTACT PHONE #)
IF YOU DO NOT GET A RESPONSE WITHIN ONE HOUR, PLEASE CALL CITY OF D.H.S. AT (760) 329-8411 AND REPORT THE PERMIT # AND PHONE # ABOVE.	
AND	
CALL A.O.M.D. AT 1-800-CUT-SMOG (1-800-288-7664)	
(PM 10 SIGN REQUIREMENTS) (Residential) SIZE = 2ft. x 3ft.	



1. THESE NOTES ARE COMPREHENSIVE AND SHOULD BE APPLIED ACCORDING TO SITE-SPECIFIC CONDITIONS. YEAR-ROUND POLLUTION PREVENTION MEASURES, ALSO KNOWN AS BEST MANAGEMENT PRACTICES (BMP'S), MUST BE INSTALLED PRIOR TO ANY FIELD ACTIVITIES. ADDITIONAL EROSION PREVENTION AND SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED PRIOR TO AND THROUGHOUT EACH RAINY SEASON. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS THROUGHOUT THE DURATION OF THE PROJECT FOR ALL CLEARING, DISKING, GRADING, EXCAVATING AND STOCKPILING ACTIVITIES, AND ON ALL EXPOSED SLOPES AND INACTIVE PADS THROUGHOUT THE ENTIRE SITE. THE DEVELOPER/CONTRACTOR IS ALSO RESPONSIBLE FOR ANY DISCHARGES FROM SUBCONTRACTORS.
2. STORM WATER RUNOFF SHALL BE FILTERED PRIOR TO DISCHARGING FROM A SITE OR TO PRIVATE OR PUBLIC STORM WATER, CONVEYANCE SYSTEM (NATURAL WATERCOURSES, STREETS, FLOW-LINES, INLETS, OUTLETS, ETC.). ALL NON-PERMITTED DISCHARGES ARE PROHIBITED FROM ENTERING ANY STORM WATER CONVEYANCE SYSTEM YEAR-ROUND.
3. IF THE PROJECT WILL DISTURB, EXPOSE OR STOCKPILE ONE (1) ACRE OR MORE OF SOIL, THE SITE MUST BE COVERED UNDER THE STATE GENERAL CONSTRUCTION PERMIT. A WASTE DISCHARGE IDENTIFICATION (WDID) NUMBER SHALL BE PROVIDED TO THE CITY PRIOR TO ISSUANCE OF A GRADING PERMIT, AND A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED THROUGHOUT THE DURATION OF THE PROJECT. THE SWPPP SHALL BE READILY AVAILABLE TO CITY AND STATE INSPECTORS AND UPDATED TO REFLECT CURRENT SITE CONDITIONS DURING CONSTRUCTION. THE CONSTRUCTION PERMIT CAN BE DOWNLOADED AT WWW.WATERBOARDS.CA.GOV/WATER_ISSUES/PROGRAMS/STORMWATER. THE SWPPP TEMPLATE CAN BE DOWNLOADED AT WWW.CABMPHANDBOOKS.COM/CONSTRUCTION.
4. ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS SHALL BE STOCKPILED AT VARIOUS LOCATIONS THROUGHOUT THE SITE FOR IMMEDIATE IMPLEMENTATION WITHIN SEVEN (7) DAYS PRIOR TO ANY FORECASTED RAIN. THE DEVELOPER/CONTRACTOR SHALL MAKE AVAILABLE EQUIPMENT AND WORKERS FOR EMERGENCY WORK TO PROTECT THE SITE.
5. PERIMETER PROTECTION MUST BE INSTALLED PRIOR TO ANY CLEARING ACTIVITIES. CLEARING SHALL BE LIMITED TO AREAS THAT WILL BE IMMEDIATELY GRADED OR DISTURBED. A COMBINATION OF EROSION AND SEDIMENT CONTROLS SHALL BE IMPLEMENTED IN AREAS THAT HAVE BEEN CLEARED. ALL DISTURBED AREAS OF AN INACTIVE SITE, AS DESCRIBED IN SUBARTICLE 6.3(B) OF THE GRADING MANUAL, SHALL ALSO BE PROTECTED.
6. ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED, RESTORED, REPAIRED OR MODIFIED YEAR-ROUND THROUGHOUT THE SITE TO PROTECT PERIMETERS, ADJACENT PROPERTIES, ENVIRONMENTALLY SENSITIVE AREAS, AND ALL PRIVATE AND PUBLIC STORM WATER CONVEYANCE SYSTEMS. IF ANY EROSION OR SEDIMENT CONTROLS FAIL DURING ANY RAIN EVENT, MORE EFFECTIVE ONES WILL BE REQUIRED IN THEIR PLACE.
7. EROSION CONTROLS SHALL INCLUDE, BUT ARE NOT LIMITED TO, APPLYING AND ESTABLISHING VEGETATIVE COVER, WOOD MULCH, STAPLED OR PINNED BLANKETS (STRAW, COCONUT OR OTHER), PLASTIC SHEETING (MINIMUM 10-MIL), POLYPROPYLENE MATS, SPRAY-ON CONTROLS TO ALL DISTURBED AREAS, OR OTHER MEASURES APPROVED BY THE CITY ENGINEER. JUTE NETTING SHALL NOT BE USED AS A STAND-ALONE EROSION CONTROL. FOR SLOPES GREATER THAN 4:1, PROVIDE FIBER ROLLS AND EITHER A BONDED FIBER MATRIX PRODUCT APPLIED TO A RATE OF 3500 LB/ACRE OR A STABILIZED FIBER MATRIX PRODUCT APPLIED TO A RATE OF 10 GAL/ACRE. THE CITY MAY APPROVE DIFFERENT APPLICATION RATES FOR SLOPES LESS THAN 4:1.
8. SEDIMENT CONTROLS SHALL INCLUDE, BUT ARE NOT LIMITED TO, DESILTING BASINS, GRADED BERMS, FIBER ROLLS, SILT FENCES, GRAVEL BAG CHEVRONS (FILLED WITH MINIMUM 3/4" GRAVEL), CHECK DAMS, DRAINAGE INLET PROTECTION, ETC. FIBER ROLLS SHALL BE INSTALLED IN 15 FOOT (15') INCREMENTS MEASURED ALONG ON THE FACE OF THE SLOPE. SILT FENCE SHALL BE INSTALLED ALONG INTERIOR STREETS AND COMBINED WITH GRAVEL-BAG OR SILT FENCE CHEVRONS INSIDE THE SIDEWALK RIGHT-OF-WAY OR BACK OF CURBS.
9. ALL ONSITE AND OFFSITE FLOW LINES (V-DITCHES, BROW-DITCHES, TERRACE DRAINS, RIBBON GUTTERS, CURB GUTTERS, ETC.) STORM WATER CONVEYANCE SYSTEMS, CHECK DAMS, CHEVRONS, SILT FENCES AND DESILTING BASINS SHALL BE FREE OF SEDIMENT, CONSTRUCTION MATERIALS, WASTE, MISCELLANEOUS DEBRIS, AND DETERIORATED EROSION AND SEDIMENT CONTROLS YEAR-ROUND. UPDATED: 4/1/2009 2 OF 2 R:\LANDDEV\CONSTRUCTION NOTES\EROSION AND SEDIMENT CONTROL NOTES.DOC
10. CONSTRUCTION WASTE AND MISCELLANEOUS DEBRIS SHALL BE PLACED IN WATER-TIGHT BINS. WIRE MESH RECEPTACLES WILL NOT BE ALLOWED. WASH-OUT STATIONS SHALL BE PROVIDED FOR CONCRETE, PAINTS, STUCCO, AND OTHER LIQUID WASTE SHALL BE LINED WITH PLASTIC AND LOCATED AWAY FROM STREETS, SIDEWALKS, RIGHT-OF-WAYS AND FLOW-LINES, ETC. PRIOR TO ANY FORECASTED RAIN, BINS AND WASH-OUTS SHALL BE COVERED WITH A LID OR PLASTIC TARP.
11. CONSTRUCTION ACCESS POINTS SHALL BE STABILIZED WITH A COMBINATION OF ROCK AND SHAKER PLATES YEAR-ROUND TO PREVENT TRACK-OUT. INTERIOR ACCESS POINTS (ALL PROPOSED DRIVEWAYS, MATERIAL STORAGE AND STAGING AREA ENTRANCES/EXITS, ETC.) SHALL ALSO BE PROTECTED WITH ROCK TO PREVENT TRACK-OUT ONTO INTERIOR STREETS. ROUTINE STREET SWEEPING SHALL BE PERFORMED ON ALL PAVED STREETS WHERE TRACKING IS OBSERVED. VACUUM SWEEPERS SHALL BE USED WHEN STREET SWEEPING BECOMES INEFFECTIVE. CONTROLLED STREET WASHING WILL ONLY BE ALLOWED PRIOR TO THE APPLICATION OF ASPHALT SEAL COATS, AND ONLY WHEN ALL PERTINENT DRAINAGE INLETS ARE PROTECTED.
12. DESILTING BASINS SHALL BE SIZED ACCORDING TO THE STATE GENERAL CONSTRUCTION PERMIT (3600 CUBIC FEET OF STORAGE PER ACRE OF DISTURBED SITE), EVEN IF THE SITE DOES NOT REQUIRE COVERAGE UNDER THIS PERMIT. WATER SHALL BE FILTERED AND DRAINED FROM BASINS WITHIN 72 HOURS.
13. STORM WATER RUNOFF SHALL NOT BE DIRECTED OVER ANY SLOPES WITHOUT PERMANENT DOWN DRAINS INSTALLED. EROSION AND SEDIMENT CONTROLS ARE REQUIRED ON ALL EXPOSED SLOPES UNTIL SUFFICIENT PERMANENT LANDSCAPING HAS BEEN ESTABLISHED. 100% SLOPE PROTECTION MUST BE IN PLACE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
14. MATERIAL STORAGE AND STAGING AREAS SHALL BE ESTABLISHED. FUEL TANKS, PORTABLE TOILETS, LIQUIDS, GELS AND POWDERS SHALL BE STORED AWAY FROM ALL PRIVATE / PUBLIC STORM WATER CONVEYANCE SYSTEMS, SIDEWALKS, RIGHT-OF-WAYS AND FLOW-LINES AND SHALL HAVE SECONDARY CONTAINMENT. INACTIVE STOCKPILES OF SOIL SHALL BE COVERED AT ALL TIMES. ACTIVE STOCKPILES SHALL BE COVERED PRIOR TO A FORECASTED RAIN.
15. ALL PORTABLE MIXERS SHALL HAVE PLASTIC LINERS UNDERNEATH WITH GRAVEL-BAGS PLACED ON THE DOWN-HILL SIDE OF THE LINERS TO CONTAIN DISCHARGES.
16. IMPOUNDED WATER SHALL BE SECURED FROM THE PUBLIC. SIGNAGE INDICATING "PONDED WATER-DO NOT ENTER" SHALL BE POSTED.
17. NO OBSTRUCTIONS, OTHER THAN BMP'S, SHALL BE ALLOWED WITHIN ANY STORM WATER CONVEYANCE SYSTEM, UNLESS ALTERNATIVE DRAINAGE FACILITIES HAVE BEEN APPROVED BY THE CITY ENGINEER.



LEGEND:

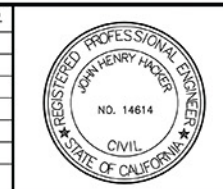
- ① PROPOSED CONST. ENTRANCE (3" CLEAN GRAVEL 6" THICK W/ SHAKER WHEEL SPREADER PLATES)
- ② PROJECT DUST CONTROL SIGN
- ③ WIND FENCE
- ④ COIR FIBER ROLLS



UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR ANY DAMAGE, LOSSES OR INJURIES CAUSED BY OR TO USERS OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

ENGINEER'S NOTE TO CONTRACTOR: CONSTRUCTION CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO OBTAIN NECESSARY AND HOLD DESIGN PROFESSIONAL WRITERS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN IN THESE PLANS WAS OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO, THESE UTILITIES OR STRUCTURES.

#	REVISIONS	DATE	APP.



JHA Engineers
43585 Monterey Avenue, Suite 7
Palm Desert, CA. 92260
(760) 345-1352
dan@jhaengineering.com

OWNER / DEVELOPER
DCS DESIGNERS
PO BOX 924
D.H.S., CA. 92240
(760) 369-2550
DCS@DCSDSIGNERS.COM

SCALE: 1"=20'
PLOT DATE: 2/25/2020
DESIGN BY: DAN
DRAWN BY: DAN
CHECKED BY: JHH

PREPARED UNDER THE DIRECT SUPERVISION OF:

JOHN H. HACKER, P.E.	DATE
R.C.E. 14614	

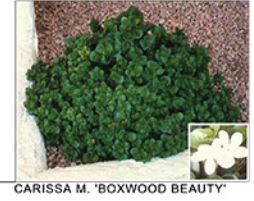
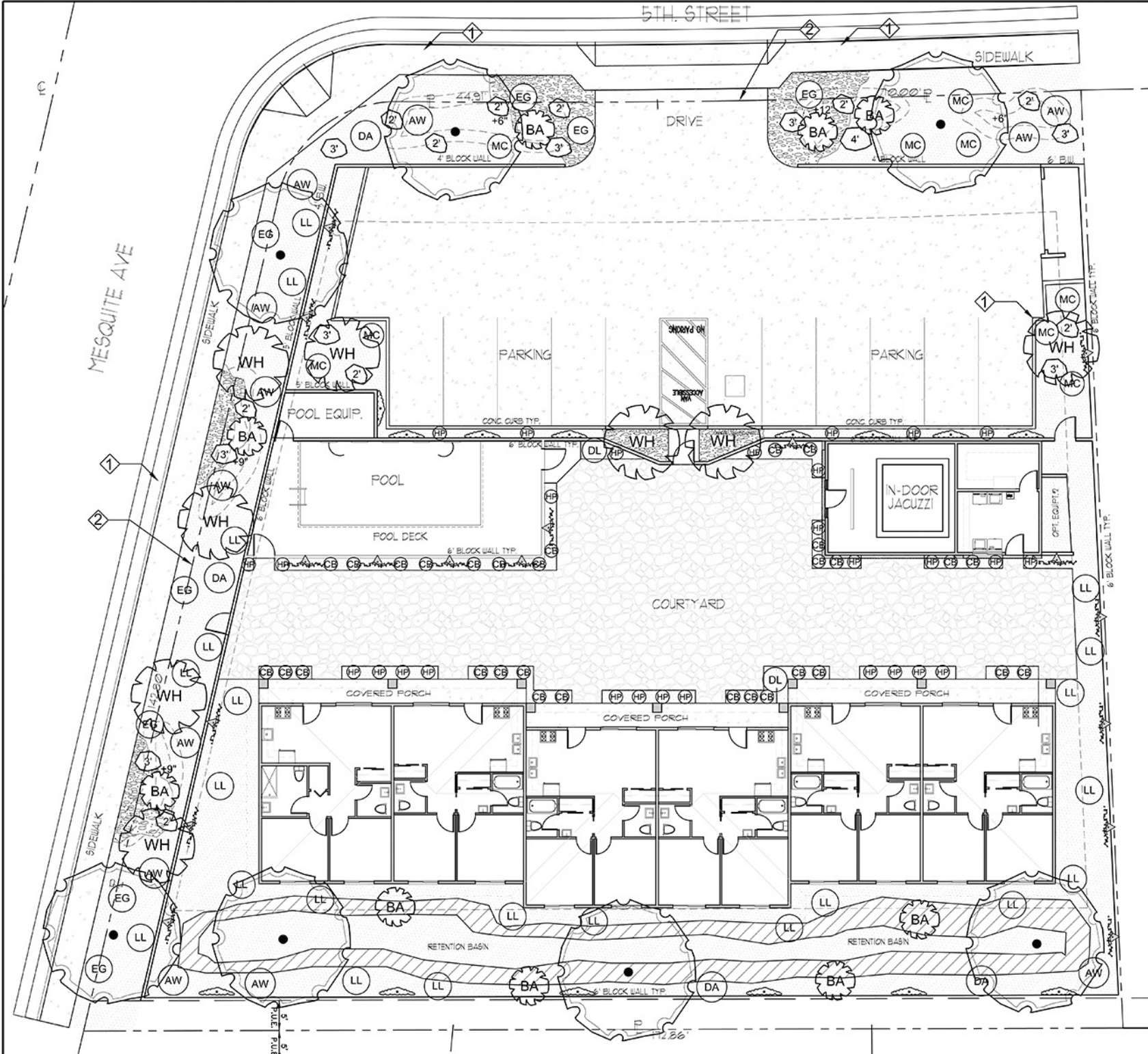
GEOTECHNICAL CERTIFICATION, REQUIRED, BY:

R.C.E.	EXP.	DATE
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CITY OF DESERT HOT SPRINGS
DEPARTMENT OF PUBLIC WORKS
APPROVED BY:

DANIEL PORRAS PUBLIC WORKS DIRECTOR	DATE
CITY OF DESERT HOT SPRINGS DEPARTMENT OF PUBLIC WORKS RECOMMENDED FOR APPROVAL BY:	
RAMY BESHARA ASSOCIATE ENGINEER	DATE

IN THE CITY OF DESERT HOT SPRINGS COUNTY OF RIVERSIDE, STATE OF CALIFORNIA		SHEET 3 OF 3
EROSION CONTROL / SWPPP		PRIVATE REFERENCE # 19-5876
SITE ADDRESS	FIFTH STREET	CITY REFERENCE #
LEGAL DESCRIPTION	LOTS 5 & 6, D.H.S. TRACT 6, M.B. 24/21	
SEC. 30	T. 2 S., R. 5 E., S.B.B. & M. A.P.N. 639-302-005 & 006	



PLANTING LEGEND

TREES	SYM.	QTY.	BOTANIC NAME	COMMON NAME	SIZE
	7		PARKINSONIA PRAECOX LOW WATER USE (0.2)	SONORAN PALO VERDE MULTI-TRUNK	24" BOX
	8		WASHINGTONIA 'HYBIRD' MOD WATER USE (0.5)	HYBRID FAN PALM SKINNED TRUNK	10' 8TH
	9		BRAHEA ARMATA MOD WATER USE (0.5)	MEXICAN BLUE PALM	24" BOX

NOTE: INSTALL ROOT BARRIERS IF TREES OR PALMS ARE WITHIN 5' OF HARDSCAPE.

SHRUBS & DESERT ACCENTS	SYM.	QTY.	BOTANIC NAME	COMMON NAME	SIZE
	12		AGAVE WEBERI LOW WATER USE (0.2)	WEBER'S AGAVE	5 GAL.
	22		LEUCOPHYLLUM LAEVIQATUM LOW WATER USE (0.2)	CHIHUAHUA SAGE	5 GAL.
	30		CARISSA M. 'BOXWOOD BEAUTY' MOD WATER USE (0.5)	BOXWOOD BEAUTY	5 GAL.
	8		EREMOPHILA G. 'MINGENEW GOLD' LOW WATER USE (0.2)	GOLD EMU BUSH	5 GAL.
	2		DASYLIRION LONGISSIMUM LOW WATER USE (0.2)	MEXICAN GRASS TREE	15 GAL.
	4		DASYLIRION ACROTRICHUM LOW WATER USE (0.2)	GREEN DESERT SPOON	5 GAL.
	28		HESPERALOE PARVIFLORA 'PERPA' LOW WATER USE (0.2)	BRAKELIGHT YUCCA	5 GAL.
	9		MULENBERGIA CAPILLARIS 'REGAL MIST' MOD WATER USE (0.5)	REGAL MIST MUHLY	5 GAL.
	14		CALLIANDRA INAEQUILATERA MOD WATER USE (0.5)	PINK POWDER PUFF	5 GAL. STAKE
	17		TECOMA STANS MOD WATER USE (0.5)	YELLOW BELLS VINE	5 GAL. STAKE

INERT MATERIAL	SYM.	NAME	SIZE
		DECOMPOSED GRANITE 'MOJAVE GOLD' OR APPROVED EQUAL 6,425 SQUARE FEET ±	3/8" MINUS, 3" DEPTH AFTER COMPACTION, 11% FINES
		RIP RAP 'BAJA CRESTA' OR APPROVED EQUAL 660 SQUARE FEET ±	4'-8" DIA
		GRAVEL 'DESERT GOLD' OR APPROVED EQUAL 985 SQUARE FEET ±	3/4", 2" DEPTH AFTER COMPACTION
		DESERT SELECT BOULDERS OR APPROVED EQUAL 1/3 BURIED.	2'-4" DIA.

NOTE: QUANTITIES LISTED ARE NOT GUARANTEED AND ARE ONLY FOR PLAN CHECK PURPOSES ONLY. PLANS TAKE PRECEDENCE.

SQUARE FOOTAGE - LANDSCAPE
 8,850 SQUARE FEET OF PLANTER
 0 SQUARE FEET OF TURF
 8,850 SQUARE FEET OF TOTAL LANDSCAPE AREA

LEGEND:
 1 CONCRETE CURB PER CIVIL DRAWINGS
 2 RIGHT-OF-WAY
ABBREVIATIONS:
 CL = CENTER LINE
 PL = PROPERTY LINE

NOTES:
 1. IRRIGATION SYSTEM SHALL BE: 'DRIP EMITTERS' FOR SHRUBS AND 'TRICKLE BUBBLERS' FOR PALMS AND TREES. TREES, PALMS AND SHRUBS SHALL BE VALVED SEPARATELY.
 2. REFER TO ARCHITECT'S DRAWINGS FOR ALL PROPOSED DESIGNS FOR PERIMETER WALLS, TRASH ENCLOSURES AND THE OTHER SCREENING FEATURES.



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 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA
 DIAL TOLL FREE
 1-800-422-4133
 AT LEAST TWO DAYS BEFORE YOU DIG

NOTE: CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE & NOTIFY THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE OF ANY DIMENSIONAL ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. REFER TO CIVIL DRAWINGS FOR HORIZONTAL AND VERTICAL DATA.

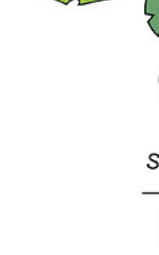
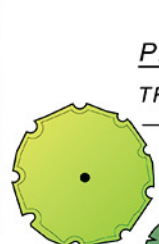
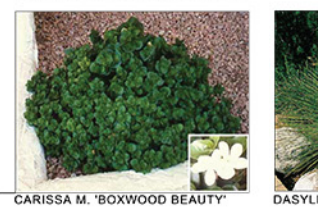
LANDSCAPE ARCHITECT	REVISIONS	CITY	PREPARED BY:
MARK	BY	APPR	DATE
			RAY LOPEZ ASSOCIATES LANDSCAPE ARCHITECTURE & PLANNING 50-960 JACKSON STREET, VISTA SANTA ROSA, CA 92074 (760) 206-9696 E-mail: RLandscape@aol.com PREPARED UNDER THE DIRECT SUPERVISION OF: <i>Raymond C. Lopez</i> 3.16.2020 RAYMOND C. LOPEZ LICENSED LANDSCAPE ARCHITECT No. 3474 EXPIRES 12-31-21

CITY OF DESERT HOT SPRINGS
 APPROVED BY: _____ DATE: _____
 NAME / TITLE: _____

CONTACT
 RAY LOPEZ
 Phone: (760) 206-9696
 DESIGN BY: IVORCL
 DRAWN BY: IVO
 PLOT DATE: Mar 16, 2020

CITY OF DESERT HOT SPRINGS, STATE OF CALIFORNIA
PRELIMINARY LANDSCAPE PLAN
 JC LANDMARK
 VILLAS D'LUXE IN THE DESERT
 5TH Street and MESQUITE Avenue, Desert Hot Springs, Ca

SHEET 1 OF SHEETS 1
 CONTRACT No. XXXXXX



PLANTING LEGEND

TREES

SYM.	QTY.	BOTANIC NAME	COMMON NAME	SIZE
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SYM.	NAME	SIZE
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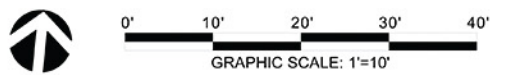


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 8,850 SQUARE FEET OF PLANTER
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LEGEND:
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PRELIMINARY LANDSCAPE PLAN



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MARK	BY	DATE	REVISIONS	CITY	APPR	DATE

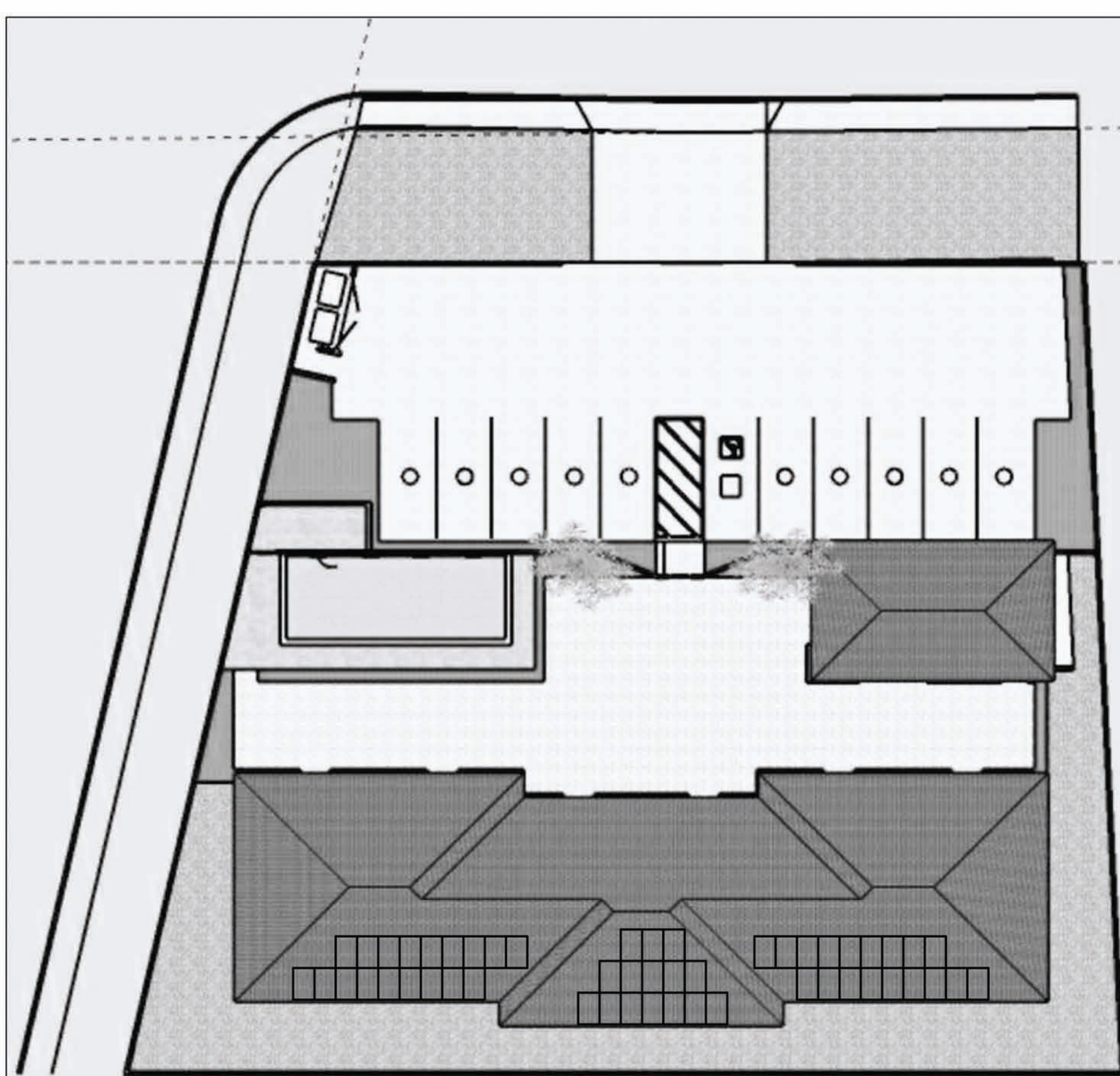
PREPARED BY:
 RAY LOPEZ ASSOCIATES
 LANDSCAPE ARCHITECTURE & PLANNING
 52-960 JACKSON STREET, VISTA SANTA ROSA, CA 92074
 (714) 760-206-9696 E-mail: RL@raylopez.com
 PREPARED UNDER THE DIRECT SUPERVISION OF:
 Raymond C. Lopez
 3.16.2020
 LICENSED LANDSCAPE ARCHITECT No. 3474
 EXPIRES 12-31-21

CITY OF DESERT HOT SPRINGS
 APPROVED BY:
 XXXXX X XXXXX
 NAME / TITLE
 DATE

CONTACT
 RAY LOPEZ
 Phone: (760) 206-9696
 DESIGN BY
 IVORCL
 DRAWN BY
 IV/D
 PLOT DATE
 Mar 16, 2020

CITY OF DESERT HOT SPRINGS, STATE OF CALIFORNIA
PRELIMINARY LANDSCAPE PLAN
 JC LANDMARK
 VILLAS D'LUXE IN THE DESERT
 5TH Street and MESQUITE Avenue, Desert Hot Springs, Ca

SHEET 1
 OF SHEETS 1
 CONTRACT No. XXXXXX



SunPower 330W Modules
 16.83 kW 51 Modules



PV Installation
 Company
 Renova Energy Corp.
 California - 2012



Project Name:
 JC LANDMARK VILLAS D'LUXE IN THE DESERT
 5 TH STREET & MESQUITE AVE.
 DESERT HOT SPRINGS, CA 92240

Drawn By:
 ADRIAN REYES

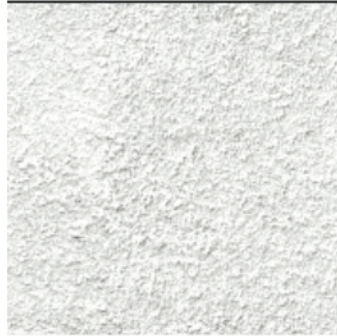
Date Drawn:
 09/30/2019

Revision No.

Sheet No.

LaHabra®

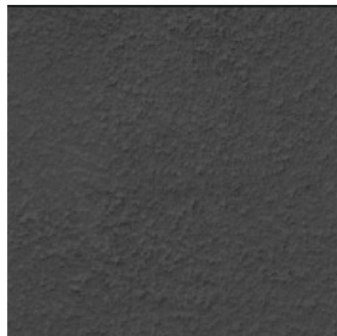
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DOVE GRAY X40



SILVER GRAY X16



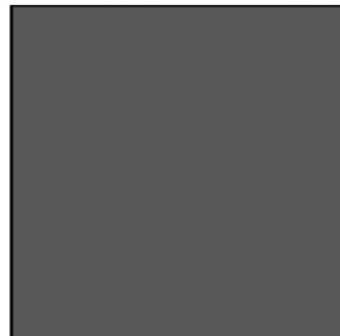
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SILVER BULLET DE6381



BANK VAULT DE6383



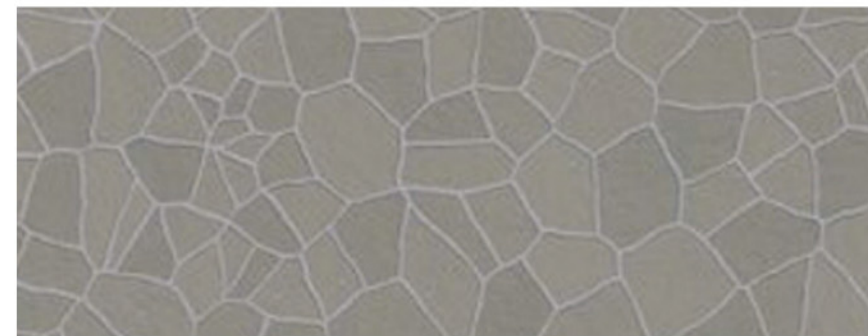
SIERRA MADRE
#4503



NATURAL GRAY - PRECISION



QUICK STACK - ASPEN



NATURAL GRAY - PAVERS

MATERIAL COLOR BOARD

REVISIONS	BY

ARCHITECT
 WENDELL W. VEITH, ARCHITECT
 80-3600 ULLSWATER DRIVE
 INDIO, CA 92203
 TEL. 760-953-4956, FAX. 760-260-1602

LICENSED ARCHITECT - STATE OF CALIFORNIA
 NO. 05297
 EX. 11-3-21

FOR THE PROJECT OF:
 JC LANDMARK
 VILLAS D'LUXE IN THE DESERT
 5TH STREET & MESQUITE AVE.
 DESERT HOT SPRINGS, CA.

SHEET TITLE

DESIGNERS
 DCS DESIGNERS
 P.O. BOX 926
 DESERT HOT SPRINGS, CA.
 92240 PHONE: 760.369.2550

DRAWN BY: DRS
 NOV 01, 2019
 SCALE: AS SHOWN
 JC LANDMARK #262
 SHEET

OF SHEETS

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RESERVED
PARKING




DCS
DESIGNERS DCS@DCSDESIGNERS.COM
WWW.DCSDESIGNERS.COM

The logo features the letters "DCS" in a large, bold, blue font. To the right of the letters is a small image of a house with a tiled roof and a chimney. Below the "DCS" text, the word "DESIGNERS" is written in a smaller, blue, sans-serif font. To the right of "DESIGNERS" is the email address "DCS@DCSDESIGNERS.COM" in a smaller, blue, sans-serif font. At the bottom of the logo, the website address "WWW.DCSDESIGNERS.COM" is written in a bold, black, sans-serif font.